

BOWDITCH



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March 7, 2024

BY E-MAIL – planning@worcesterma.gov

Division of Planning & Regulatory Services
City Hall Room 404
455 Main Street
Worcester, MA 01608
Attn: Michelle M. Smith, Assistant Chief Development Officer

2024 MAR 22 PM 2: 21
Received
Worcester City Clerk

Re: *Colony Retirement Homes, Inc. – Application to City of Worcester Planning Board for Definitive Site Plan Review Approval and More Than One Building on a Lot Approval for Phase 1 of Senior Housing Redevelopment Project at 485 Grove Street, Worcester, Massachusetts*

Dear Ms. Smith:

This firm represents Colony Retirement Homes, Inc. (the “Applicant”) in its applications to the Worcester Planning Board (the “Board”) for Definitive Site Plan Review Approval and More than One Building on a Lot Approval for Phase 1 of its senior housing redevelopment project at 485 Grove Street, Worcester, Massachusetts which contains approximately 257,048 square feet of land and is presently comprised of 13 two story residential buildings with a total of 139 dwelling units, 124 parking spaces, three existing internal driveways, internal walkways, and outdoor recreational areas (collectively, the “Existing Complex”). The Applicant is proposing an overall redevelopment of the Property that will bring the entire site into the 21st century, utilizing modern planning and design principles and the latest in energy efficient and climate resilient construction (the “Master Plan Project”). The Master Plan Project will serve the existing residents and welcome new residents. Over the span of 4 phases, a total of 220 senior housing dwelling units will be constructed within 4 buildings, which will result in a net increase of 81 dwelling units. The units will all be affordable to low- and moderate-income individuals up to 80% AMI with any average affordability of 60% AMI.

For Phase 1, the Applicant will demolish 3 existing two-story buildings and construct a new approximately 48,968 square foot four-story building containing 45 new dwelling units, 43 new parking spaces (including 6 handicapped accessible spaces (including 4 van accessible spaces, which will also include 1 EV space), 2 standard EV spaces and 6 standard EV ready spaces), a patio covered by a pergola and other site improvements related thereto.

We hereby submit the following items for filing with the Board:

1. Definitive Site Plan Application (with Certification of Tax/Revenue Collection Compliance);
2. More Than One Building on a Lot Approval Application;
3. Statement in Support and Project Impact Statement;
4. Zoning Map Amendment ordained on December 19, 2023;
5. Master Plan Conceptual Plans;
6. Aerial of Existing Complex;
7. Existing Conditions Plan;
8. Construction Management Plan;
9. Civil Plan Set;
10. Architectural Floor Plans, Elevations and Renderings;
11. Traffic Impact Assessment (to be provided under separate cover letter);
12. Stormwater Report;
13. Zoning Determination Form (to be provided under separate cover letter); and
14. Certified List of Abutters.

We will coordinate with staff to facilitate the submission of the addressed envelopes, the filing fees payable to the City of Worcester and necessary copies of the above-described items.

Kindly file this Application with the City Clerk and schedule this Application to be heard at the Board's next available meeting, which is scheduled to occur on **April 10, 2024**.

Please let me know if you have any questions regarding the enclosed materials. Thank you in advance for your assistance with this matter.

Very truly yours,



Mark A. Borenstein

MAB:JD

Enclosures

cc: Katherine Garrahan, Esquire
Project team

City of Worcester Planning Board



DEFINITIVE SITE PLAN APPLICATION

Division of Planning & Regulatory Services

City Hall, 455 Main Street, Room 404, Worcester, MA 01608

Phone: (508) 799-1400 x 31440 – Fax: (508) 799-1406 – E-mail: planning@worcesterma.gov (preferred)

1. PROPERTY INFORMATION

- a. 485 Grove Street, Worcester, MA 01605
Address(es) – please list all addresses the subject property is known by
- b. 20-030-00001
Parcel ID or Map-Block-Lot (MBL) Number
- c. Worcester District Registry of Deeds, Book 4606 Page 87
Current Owner(s) Recorded Deed/Title Reference(s)
- d. Business, General (BG-3.0)
Zoning District and all Zoning Overlay Districts (if any)

2. APPLICANT INFORMATION

- a. Colony Retirement Homes, Inc.
Name(s)
- b. 101 Chadwick Street, Worcester, MA 01608
Mailing Address(es)
- c. mborenstein@bowditch.com 508-688-9136
Email and Phone Number(s)
- d. Owner
Interest in Property (e.g., Lessee, Purchaser, etc.)

I certify that I am requesting the Worcester Planning Board grant the Definitive Site Plan as described below Colony Retirement Homes, Inc.

By: Marianne Delorey
(Signature) Name: Marianne Delorey
Title: Executive Director


3. OWNER OF RECORD INFORMATION (IF DIFFERENT FROM APPLICANT)

- a. Same
Name(s)
- b. _____
Mailing Address(es)
- d. _____
Email and Phone Number

Division of Planning & Regulatory Services
455 Main St., 4th Floor, Worcester, MA 01608
Office 508-799-1400 – Fax 508-799-1406

Planning@worcesterma.gov

4. REPRESENTATIVE INFORMATION

- a. Mark A. Borenstein
Name(s)
- b. 
Signature(s)
- c. Bowditch & Dewey, LLP, 311 Main Street, Worcester, MA 01608
Mailing Address(es)
- d. mborenstein@bowditch.com 508-688-9136
Email and Phone Number
- e. Attorney
Relation to Project (Architect/Attorney/Engineer/Contractor, etc.)

5. AUTHORIZATION N/A

Authorization I, _____, Owner of Record of the property listed with the Assessing Division of the City of Worcester, Massachusetts as Map _____ Block _____ Lot(s) _____, do hereby authorize _____ to file this application with the Division of Planning & Regulatory Services of the City of Worcester on this the _____ day of _____, 20_____.

On this _____ day of _____, 20_____, before me personally appeared _____, to me known to be the person described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

NOTARY PUBLIC

My Commission Expires: _____

(If there is more than one owner of the land to be considered in this application, a notarized authorization is required for each owner.)

6. PROVIDE THE FOLLOWING ITEMS, 1 DIGITAL COPY IN PDF FORMAT VIA EMAIL TO PLANNING@WORCESTERMA.GOV AND CONFIRM WITH STAFF BEFORE SUBMISSION OF 1 PHYSICAL COPY BY HAND DELIVERY OR MAIL:

- Zoning Determination Form** obtained from the Inspectional Services Division (email inspections@worcesterma.gov or call 508 – 799 – 1198 for more information)
- Completed Site Plan Application, signed by all parties involved.
- Completed **Tax Certification** for the Applicant and Owner (if different) are attached (page 4)
- If the applicant is NOT the Owner, the **Owner(s) Authorization** for the applicant to apply is attached (page 2)
- A **Certified Abutters List(s)** issued within 3 months of this application's filing date which includes all properties affected and includes any contiguous, commonly owned property(s). This can be obtained from the Assessor's Office and includes all abutters and abutters to abutters within 300' of the edge of the land owner's property.
Note: if the property(s) is within 300 ft. of another town an abutters list from that town may be required
- Project Impact Statement** describing the proposed project and analyzing how the project and site layout were designed with consideration for and to be compatible with the review criteria in the Zoning Ordinance.
- Site Plan** showing the full project scope and all elements listed in Item 11 of this application, stamped and signed by all applicable professionals
- Architectural drawings** showing exterior elevation, height in feet and stories, exterior materials for all structures, and corresponding floor plans stamped and signed by all applicable professionals
- Stormwater Report** demonstrating compliance with Massachusetts Stormwater Standards for the project, as applicable based on project type and scope (*contact staff to confirm*)
- Traffic Study**, if necessary based on expected traffic generation (*contact staff to confirm*)

7. PROVIDE 1 PHYSICAL COPY OF THE FOLLOWING ITEMS:

- One stamped (i.e. postage paid) pre-addressed envelope for *each* party on the Abutters List and the applicant (if different from the owner), with the following return address:

Division of Planning and Regulatory Services
455 Main Street (City Hall), Room 404
Worcester, MA 01608

- Filing Fee** of \$ _____ is enclosed (*see fee schedule or contact staff to confirm amount*).

8. TAX CERTIFICATION

This certification must be completed by all applicants and owners of the property, certifying payment of all local taxes, fees, assessments, betterments, or any other municipal charges of any kind. Failure to include a completed certification shall result in the application being deemed incomplete.

If a Single Owner or Proprietorship:

- a. _____
Name
- b. _____
Signature certifying payment of all municipal charges
- c. _____
Mailing Address
- d. _____
Email and Phone Number

9. IF A PARTNERSHIP OR MULTIPLE OWNERS:

- e. _____
Names
- f. _____
Signatures certifying payment of all municipal charges
- g. _____
Mailing Address
- h. _____
Email and Phone Number

Applicant, if different from owner:

- i. _____
Printed Name & Signature of Applicant, certifying payment of all municipal charges

If a Corporation or Trust:

- j. Colony Retirement Homes, Inc.

- k. _____
Full Legal Name
- k. _____
State of Incorporation
- k. _____
Principal Place of Business
- l. _____
Mailing Address or Place of Business in Massachusetts
- l. _____
Colony Retirement Homes, Inc.
- m. _____
By: ^{Signature of} Marianne Delorey, Executive Director
- m. _____
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- n. _____
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- o. _____
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- p. _____
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges

10. PROJECT TYPE AND DESCRIPTION

a. Existing Conditions. Describe the current/existing use of the property

Colony Retirement Homes is located at 485 Grove Street, Worcester, Massachusetts, which contains approximately 257,048 square feet of land and is presently occupied by 12 two story residential buildings with a total of 139 senior living dwelling units, 124 parking spaces, three existing internal driveways, internal walkways and outdoor recreational areas. Colony Retirement Homes also consists of an existing residential building at 101 Chadwick Street and an approximately 19,201 square foot lot at 41 Chadwick Street; however, these properties are not part of the proposed redevelopment project which will be located exclusively at 485 Grove Street.

b. Proposed Conditions. Check the box for all of the categories that describe the proposed project:

Proposed Project Type			
Residential	<input checked="" type="checkbox"/>	New Construction	<input checked="" type="checkbox"/>
Industrial/manufacturing	<input type="checkbox"/>	Rehabilitation/Renovation	<input checked="" type="checkbox"/>
Business	<input type="checkbox"/>	Expansion/Addition	<input type="checkbox"/>
Mixed Use	<input type="checkbox"/>	Change of use	<input type="checkbox"/>
Subdivision	<input type="checkbox"/>	Drive-through	<input type="checkbox"/>
		Gas station	<input type="checkbox"/>
		Lodging House	<input type="checkbox"/>
		Historic Property	<input type="checkbox"/>
		Abuts Historic Property	<input type="checkbox"/>
		Billboard	<input type="checkbox"/>
		Airport Environs Overlay	<input type="checkbox"/>
		≥15% Slope Disturbed	<input type="checkbox"/>

c. Describe the proposed use of the property (attach separate narrative if needed)

As part of Phase 1 of the redevelopment project, the Applicant proposes the construction and redevelopment of a portion of Colony Retirement Homes which includes the demolition of the 3 existing buildings containing 24 dwelling units, the removal of 36 parking spaces and the construction of a new approximately 48,968 square foot 5-story building containing 45 new dwelling units (the "Phase 1 Building") with an outdoor patio, 43 new parking spaces, lawn areas, new walkways, reconfigured driveways and other site improvements related thereto (the "Phase 1 Project").

d. Fill in all information relevant to the proposed project

All Projects	Existing	Change +/-	Total
Overall lot size in square feet	+/- 257,048 SF	N/A	+/- 257,048 SF
Number of buildings	13 Buildings	- 3 Buildings	11 Buildings
Total square footage of building(s)	49,772 SF	+7,167 SF	59,939 SF
Number of stories of building(s)	2 Stories	+ 2 Stories	4 Stories
Number of parking spaces	124 Spaces	+ 7 Spaces	131 Spaces
Number of loading spaces	0 Loading Spaces	+1 Loading Space	1 Loading Space
Changes to on-street parking	N/A	N/A	N/A
Total vehicle daily trips. <i>Please consult staff for specific thresholds requiring review.</i>	428 Trips	+ 234 Trips	662 Trips
Square feet of wetlands	N/A	N/A	N/A
Square feet of surface (open) water	N/A	N/A	N/A
Square feet of area vegetated/wooded	N/A	N/A	N/A
Number of trees over 9" in caliper	86 Trees	- 26 Trees	60 Trees
Cubic yards of fill material to be imported/ exported	N/A	TBD	TBD
Square feet of property in floodplain	N/A	N/A	N/A
Length of roadway (in feet or miles)	N/A	N/A	N/A
Residential	Existing	Change +/-	Total
Number of units	139 Units	+20 Units	159 Units
If multi-family, number of bedrooms per unit	1 BR and 2 BR	- 1 BR	1 BR
Number of accessible units	0 Units	+ 5 Units	5 Units
Number of affordable units	139 Units	+ 20 Units	159 Units
Business/ Industrial	Existing	Change +/-	Total
Gross square feet of floor area	N/A	N/A	N/A

11. ZONING

If this project has already been granted Zoning Relief by the Zoning Board of Appeals, please list the relief below:

Type of Relief	Date Approved
N/A	

12. PERMITS REQUIRED

List any Federal, State, or City of Worcester agencies from which permits or other actions have been or will be sought. Please continue list on an attached sheet if needed.

Agency Name	Permit Type	Date Filed	File Number
Inspectional Services	Demolition Permit and Building Permit	TBD	

13. PLAN REQUIREMENTS

The following information is required of all applications submitted for Site Plan Review. If you are not providing one of these, please check "waiver requested" next to the item.

Feature	Waiver Requested	Location in Set (Sheet/ page #)
a. Site Plan at a minimum 1" = 40'-0" scale, legend, & properly oriented north arrow	<input type="checkbox"/>	C101
b. Locus plan with zoning information shown	<input type="checkbox"/>	C102
c. Existing utilities	<input type="checkbox"/>	Existing Conditions
d. Existing and proposed grading using differing linetypes, showing 2' contours	<input type="checkbox"/>	C103
e. Soil types identified on the plan (including test-pit/boring locations)	<input type="checkbox"/>	C103
f. Location of all trees over 9" caliper inches on existing conditions plan	<input type="checkbox"/>	Existing Conditions
g. Architectural elevations or renderings (including exterior materials)	<input type="checkbox"/>	Arch. Plans
h. Landscape plan including plantings, and details for all landscape elements	<input type="checkbox"/>	L101, L102 and L103
i. Shade trees to reduce heat island effect. (1 tree required per dwelling unit and a minimum of 1 tree required for every 10 interior parking spaces, 3.5" caliper size)	<input type="checkbox"/>	L101
j. Stormwater mitigation measures for the 2, 10, 25, & 100-year design storm. Provide a stamped Stormwater Checklist & Calculations. <i>All projects shall comply with Massachusetts Stormwater Standards, as applicable to project scale.</i>	<input type="checkbox"/>	C103 and Stormwater Report
k. For multi-family residential dwellings in B zones, 10% of site area has been provided for recreation. <i>Note: See Article IV, Section 2, Table 4.2, footnote 3.</i>	<input type="checkbox"/>	C102

14. REVIEW STANDARDS

The following standards shall be used by the Planning Board in reviewing all applications for site plan review. These standards are intended to provide a frame of reference for the applicant in development of applications. These standards shall not be regarded as inflexible requirements. They are not intended to discourage creativity, invention or innovation. Applicants are encouraged to evaluate the extent to which the site plan, its immediate and general locus and the City more generally can tolerate the development being proposed and adjust their proposals accordingly.

Applicants should additionally provide a narrative “project impact statement” summarizing how the proposed project has been designed with the following criteria in mind by evaluating their proposal on the basis of the following 16 review standards, as outlined in the Zoning Ordinance per Article V, Section 5, B.

Provide the following information about the proposed project in relation to the review standards. If you are not providing one of these features please check “none” next to the Item.

1. Adequacy and arrangement of pedestrian traffic access and circulation, walkway structures, control of intersections with vehicular traffic and overall pedestrian convenience.

Feature	None	Page/ sheet #
a. Pedestrian pathways internal to the site, with dimensions of path widths	<input type="checkbox"/>	C102
b. Pedestrian pathways connecting to sidewalks or nearby amenities	<input type="checkbox"/>	C102
c. Doors/egress to all existing and proposed buildings	<input type="checkbox"/>	C102
d. Pedestrian paving and surface treatment details	<input type="checkbox"/>	C501
e. Safe, ADA accessible pedestrian crossings at driveways and intersections	<input type="checkbox"/>	C102

2. Adequacy and arrangement of vehicular traffic access and circulation including intersections, road widths, pavement surfaces, dividers and traffic controls.

Feature	None	Page/ sheet #
a. Driveway layout & materials	<input type="checkbox"/>	C102
b. Dimensions of all drives and curb cut widths, minimizing the number and width of curb-cuts (see Note 5 to Table 4.4)	<input type="checkbox"/>	C102
c. Access control and directional signage (e.g. gates, pavement markings, etc.)	<input type="checkbox"/>	C102
d. Pavement and curb details, including level sidewalks at driveways	<input type="checkbox"/>	C501
e. Permeable or porous paving, and/ or cool pavements/ treatments	<input checked="" type="checkbox"/>	

3. Location, arrangement, appearance and sufficiency of off-street parking and loading.

Feature	None	Page/ sheet #
a. Number of parking spaces provided (9 x 18)	<input type="checkbox"/>	C102
b. Number of compact parking spaces (8 x16)	<input checked="" type="checkbox"/>	
c. ADA parking spaces	<input type="checkbox"/>	C102
d. Parking aisle width (24 feet for 90° parking; see policy for angled spaces)	<input type="checkbox"/>	C102
e. Parking is outside front & exterior side yard/setback (except residential drives)	<input type="checkbox"/>	C102
f. Loading spaces or docks (see Table 4.5 and related notes)	<input type="checkbox"/>	C102
g. Screen planting between parking and edge of property or pedestrian paths	<input type="checkbox"/>	L101
h. Number of electric vehicle charging stations or “ready” (conduit run) spaces	<input type="checkbox"/>	C102
i. Bicycle parking (is it covered, or provided inside the building? Circle: YES NO)	<input checked="" type="checkbox"/>	

4. Location, arrangement, size, design and general site compatibility of buildings, lighting and signs.

Feature	None	Page/ sheet #
a. Building entrance fronting on the sidewalk	<input checked="" type="checkbox"/>	
b. Front façade with features to add visual interest and activate street (e.g., window placement, variation of materials, reduction in massing, etc.)	<input type="checkbox"/>	Arch. Plans
c. Green roof, blue roof, rooftop solar, or use of high-albedo roof treatments	<input type="checkbox"/>	Arch. Plans
d. Light levels appropriate for safety (1 foot candle) where pedestrians and vehicles will meet	<input type="checkbox"/>	C105
e. Parking and circulation directional signage	<input type="checkbox"/>	C102
f. Signage facing the street	<input checked="" type="checkbox"/>	

5. Adequacy of stormwater and drainage facilities.

Feature	None	Page/ sheet #
a. Flood Zones, wetlands, watercourses, and water quality and wellhead protection areas	<input checked="" type="checkbox"/>	
b. Bioswale or other open stormwater infiltration area planted with native vegetation (rain garden, etc.)	<input checked="" type="checkbox"/>	
c. Infiltration of clean runoff to maintain groundwater supply	<input checked="" type="checkbox"/>	
d. Overflow or other connection to City stormwater infrastructure***	<input type="checkbox"/>	C103

***Contact DWP&P to determine any applicable sewer connection or use change fees.

6. Adequacy of water supply and sewerage disposal facilities.

Feature	None	Page/ sheet #
a. Connections to or extensions of city sanitary sewer and water utilities. <i>Contact DWP&P to determine any applicable sewer connection or use change fees.</i>	<input type="checkbox"/>	C104
b. Connections to or extensions of city storm drainage infrastructure	<input type="checkbox"/>	C103
c. Footing or foundation drainage for a proposed structure or wall	<input checked="" type="checkbox"/>	

7. Adequacy, type and arrangement of trees, shrubs and other landscaping elements in accordance with the Landscaping Design Standards set forth in Article V, Section-5(C).

Feature	None	Page/ sheet #
a. Walls, including height (show top & bottom elevations at highest and all intersecting points, minimize height whenever possible), materials, and related drainage.	<input type="checkbox"/>	C103
b. Engineered slopes (rip-rap is not recommended)	<input checked="" type="checkbox"/>	
c. Planted buffers between parking facilities and adjacent properties or roads	<input type="checkbox"/>	L101
d. Proposed plantings and areas to be seeded (number, species or mix, size)	<input type="checkbox"/>	L101
e. Fencing, including information on material, height, and style (including gates)	<input type="checkbox"/>	L101
f. Planted buffers along rear and side yard setbacks	<input type="checkbox"/>	L101

8. In the case of an apartment complex or other multiple dwelling, the adequacy of useable common property or open space. Note: for residential uses in Business Districts see Article IV, Section 2, Table 4.2, footnote 3.

Feature	None	Page/ sheet #
a. Outdoor seating (i.e. benches, seat walls, picnic tables, etc.)	<input checked="" type="checkbox"/>	
b. Recreation or play area (Is it designed for children/ families? Circle: YES (NO))	<input type="checkbox"/>	C102
c. Raised beds for a community garden or other urban agriculture provisions	<input checked="" type="checkbox"/>	
d. Paved pedestrian plaza area (includes patios) or deck	<input type="checkbox"/>	C102
e. Interior common space and amenities or balconies	<input type="checkbox"/>	Arch. Plans

9. Protection of adjacent or neighboring properties against noise, glare, unsightliness or other objectionable features.

Feature	None/	Page/ sheet #
a. Plan locating all existing (to remain) & proposed light fixtures	<input type="checkbox"/>	C105
b. Details of all proposed light fixtures: showing max temperature of 4,000K, dark-sky compliant, and with shielding to prevent light spillover	<input type="checkbox"/>	C105
c. Photometric plan for parking lots with ≥12 new spaces	<input type="checkbox"/>	C105
d. Opaque fencing or evergreen planting to screen trash or utility areas (including siting and screening of roof-top equipment, as applicable)	<input checked="" type="checkbox"/>	
e. Sound attenuation at loading, utility, and other noise generating areas with particular attention to sensitive neighbors	<input checked="" type="checkbox"/>	
f. Limit of clearing, with mature vegetation protected where possible	<input type="checkbox"/>	C101

10. Adequacy of fire lanes and other emergency zones and the provisions of fire hydrants.

Feature	None	Page/ sheet #
a. Diagram of fire truck access path (applicant should coordinate turning radius and access requirements with the Fire Department)	<input type="checkbox"/>	C106
b. Clearly marked fire or emergency loading areas	<input type="checkbox"/>	C102
c. Fire hydrants and/or FDC connections	<input type="checkbox"/>	Existing Conditions. C104 and Arch. Plans

11. Special attention to the adequacy of structures, roadways and landscaping in areas with susceptibility to ponding, flooding and/or erosion.

Feature	None	Page/ sheet #
a. All buildings and utilities are located at or above the 500-year flood elevation	<input checked="" type="checkbox"/>	
b. Drainage infrastructure is designed to reduce ponding and slow runoff	<input type="checkbox"/>	Stormwater Report

12. Adequacy of erosion and sedimentation control measures to be utilized during and after construction.

Feature	None	Page/ sheet #
a. Erosion control plan narrative sequence (including perimeter controls and temporary stormwater management) for construction activities	<input type="checkbox"/>	C101
b. Plans for securing of any stockpiles on site during construction	<input checked="" type="checkbox"/>	
c. Temporary and permanent slope stabilization/designs for slopes greater than 3H:1V; (note: loam and seed is not sufficient)	<input type="checkbox"/>	C501
d. Slopes ≥2.5H:1V are engineered (note: loam and seed is not sufficient)	<input checked="" type="checkbox"/>	
e. Temporary sediment basins and other means of stormwater velocity attenuation or conveyance proposed during construction	<input checked="" type="checkbox"/>	

13. Conformance and compatibility of the site plan design with structures listed in the most recent State Register of Historic Places.

Feature	None	Page/ sheet #
a. Protection of existing historic architectural or site features	<input checked="" type="checkbox"/>	
b. Historically-sensitive façade, window, and roof treatments	<input checked="" type="checkbox"/>	

14. Adequacy and impact on the regional transportation system.

	Feature	None	Page/ sheet #
a.	Bus service within ¼ mile (indicate number of stops and route numbers)	<input type="checkbox"/>	Statement in Support
b.	Improvements to neighborhood walk/bike-ability or public transportation	<input checked="" type="checkbox"/>	

15. Adequacy of plans and protective measures to ensure minimal risk of contamination to surface or ground water.

	Feature	None	Page/ sheet #
a.	Snow storage locations (outside of basins and required parking/landscape buffer)	<input checked="" type="checkbox"/>	
b.	Water quality structures to remove total suspended solids (TSS) from runoff	<input type="checkbox"/>	C103 and C503
c.	Water quality structures to remove pollutants from runoff (i.e. oil/ water separators, etc.)	<input type="checkbox"/>	C103 and C503
d.	Plan for mitigation of any contaminated soils (include RTN, RAM Plan, AUL)	<input checked="" type="checkbox"/>	
e.	Locations of material to cut or filled (including the location of the source material if fill)	<input checked="" type="checkbox"/>	
f.	Dewatering plans	<input checked="" type="checkbox"/>	

16. Conformance of the site design with the purposes and intent of the Worcester Zoning Ordinance.

	Feature	None	Page/ sheet #
a.	Minimum yard setbacks (for front, side, and rear)	<input type="checkbox"/>	C102
b.	Property and right-of-way boundary lines (include the status of ways)	<input type="checkbox"/>	Existing Conditions
c.	Easements for any utilities, public access, or adjacent properties	<input type="checkbox"/>	Existing Conditions
d.	Regularity factor for all lots	<input checked="" type="checkbox"/>	
e.	% paving within the front-yard for residential uses	<input checked="" type="checkbox"/>	
f.	Height of all structures in feet and stories	<input type="checkbox"/>	C102

City of Worcester Planning Board



DEFINITIVE PLAN-MORE THAN ONE BUILDING ON A LOT

**Division of Planning & Regulatory Services
455 Main Street, Room 404, Worcester, MA 01608
Office 508-799-1400 Ext. 31440 – Fax 508-799-1406**

- 1. Applicant's Name: Colony Retirement Homes, Inc.
- 2. Applicant's Address: 101 Chadwick Street, Worcester, MA 01608
- 3. Owner's Name: Same
- 4. Option Holder: N/A
- 5. Address: _____
- 6. Engineer/Architect: Graves Engineering
- 7. Address: 100 Grove Street, Worcester, MA 01605

We petition for approval of the plan herewith submitted which illustrates proposed construction which would make available for residential use through (new construction) (placement) (conversion) of more than one structure on a single parcel of land located at:
485 Grove Street, Worcester, MA 01605

Submitted plan will be identical in all respects to those submitted under Subdivision Regulations, Section VIII (II).

Colony Retirement Homes, Inc.

Applicant's Signature: Marianne Delorey Title: _____

DocuSigned by:

Name: Marianne Delorey
Title: Executive Director

Accepted this _____ day of _____, 20____ as duly submitted under the Rules and Regulations of the Planning Board.

For WORCESTER PLANNING BOARD

By: _____
Division of Planning & Regulatory Services

Statement in Support and Project Impact Statement
of Colony Retirement Homes, Inc. for
Application to City of Worcester Planning Board for Definitive Site Plan Review Approval
and More Than One Building on a Lot Approval for
Phase 1 of Senior Housing Redevelopment Project at
485 Grove Street, Worcester, Massachusetts

I. Background, Existing Conditions and Project Scope for Master Plan and Phase 1

a. Background and Existing Conditions.

Colony Retirement Homes, Inc. (“Colony” or the “Applicant”) owns and operates the existing senior residential housing community located at 485 Grove Street, Worcester, Massachusetts (the “Property”),¹ which contains approximately 257,048 square feet of land and is presently comprised of 13 two story residential buildings with a total of 139 dwelling units, 124 parking spaces, three existing internal driveways (East Way, Mid Way and West Way), internal walkways, and outdoor recreational areas (collectively, the “Existing Complex”). The Property was previously split-zoned and located in both the Residence, Limited (RL-7) and Residence, Single (RS-10) zoning districts. On December 19, 2023, the Worcester City Council ordained a change to the zoning map to establish the Business, General (BG-3.0) zoning district at the Property to facilitate a redevelopment of the Existing Complex.

The Property is bounded by Grove Street and residential uses to the north, Chadwick Street, residential uses, Francis J. McGrath Elementary School and athletic fields to the south, residential buildings on Rosemont Road to the east, and Forest Grove Middle School to the west.

The Existing Complex was constructed in the 1960s and 1970s. Due to its age and configuration, the 50+ year-old development has become outdated in several respects. The units are not up to current standards, with small rooms and kitchens and outdated apartment finishes and appliances. The heating, plumbing and electrical systems are all outdated and inefficient. The existing buildings and internal walkways have limitations with respect to mobility. For example, none of the existing senior living dwelling units are handicapped accessible.

¹ 485 Grove Street has a parcel identification of 20-030-00001. The Property is currently owned by Colony Retirement Homes, Inc. as evidenced by the deed recorded in Worcester Registry of Deeds in Book 4606, Page 87. Colony Retirement Homes, Inc.’s affiliates own the parcels at 41 and 101 Chadwick Street but those properties are not part of the Master Plan Project. The property at 101 Chadwick Street is occupied by an existing senior residential building with 100 dwelling units.

b. Project Scope – Master Plan.

Colony is proposing an overall redevelopment of the Property that will bring the entire site into the 21st century, utilizing modern planning and design principles and the latest in energy efficient and climate resilient construction (the “Master Plan Project”). The Master Plan Project will serve the existing residents and welcome new residents. Over the span of 4 phases, a total of 220 senior housing dwelling units will be constructed within 4 buildings, which will result in a net increase of 81 dwelling units. The units will all be affordable to low- and moderate-income individuals up to 80% AMI with any average affordability of 60% AMI. The phased approach will allow for an orderly and feasible redevelopment with residents temporarily relocated and then returned to new buildings phase-by-phase to prioritize safety and convenience.

The Master Plan Project calls for the demolition of all 13 existing buildings on the Property which will be replaced with 4 new multifamily buildings that will offer modern design and features. The buildings will be a mix of 4-5 story structures, giving the development context and variety, while fitting cohesively on the Property and the surrounding neighborhood. The new buildings will be accessible, with ADA compliant ramps and entries, wider hallways, and elevators. Approximately 10% of the units will be Group 2 handicapped accessible. The buildings will be interconnected which will allow residents to visit other buildings without having to go outside. The apartments will be larger, with modern finishes and energy efficient appliances. The Master Plan Project’s buildings will be designed in accordance with Passive House standards which will require significantly less energy through well-insulated and air-sealed building envelopes, natural light, rooftop solar and highly efficient all-electric HVAC systems. As a result, the new units will be more economical for residents, energy-efficient and environmentally friendly.

The Master Plan Project will provide vast improvements over the existing site, providing ample greenspace, outdoor recreational areas, additional trees and major infrastructure upgrades. Parking for the site will be improved with upgraded off-street parking areas. Improvements will be made to stormwater management and drainage. New connections throughout the site will be provided with graded pathways to improve accessibility.

c. Project Scope - Phase 1.

The Applicant is seeking site plan review approval and more than one building on a lot approval from the City of Worcester Planning Board (the “Board”) as more particularly described herein, in connection with the Phase 1 construction and redevelopment of the Existing Complex which includes the demolition of the 3 existing two story buildings and the construction of a new approximately 48,968 square foot 4-story building² containing 45 new

² The Phase 1 Building technically has 5 floors but the first floor is underground.

dwelling units (the “Phase 1 Building”), 43 new parking spaces (including 6 handicapped accessible spaces (including 4 van accessible spaces, which will include 1 EV space), 2 standard EV spaces and 6 standard EV ready spaces), a patio covered by a pergola and other site improvements related thereto (the “Phase 1 Project”). The dwelling units within the Phase 1 Building will consist of 13 units affordable at 30% AMI, 27 units affordable at 60% AMI and 5 units affordable at 80% AMI. The Phase 1 Building will include amenities such as mail services on the ground floor and laundry facilities conveniently located for residents on each floor. A total of 131 parking spaces will be provided to serve the Phase 1 Building and the remaining Existing Complex.³ The Phase 1 Project also includes the reconfiguration of East Way and a modified connection to the other driveways on the Property, the construction and/or installation of new walkways, new retaining walls, a new generator on a concrete pad, new fencing, a new transformer on a concrete pad, new lighting, new electric vehicle (EV) charging stations and conduits,⁴ new utilities, a new solar-“ready” roof top, new landscaping and other site features.

The Master Plan Project will likely be refined as Colony approaches each future phase. Any approvals granted by the Board related to the Phase 1 Project will be subject to these anticipated refinements to the Master Plan Project and will not require any amendments thereto provided the Phase 1 Project is constructed substantially in accordance with the plans approved by the Board.

II. Requirement for Approval of Site Plan Review and More Than One Building on a Lot Approval.

The development of 5 or more dwelling units and/or the alteration of slopes 15% or greater requires definitive site plan review approval by the Board pursuant to Table 5.1 of Article V of the Zoning Ordinance. The Phase 1 Project will result in the creation of 45 dwelling units resulting in a total of 159 dwelling units at the Property and the alteration of slopes 15% or greater and, therefore, the Phase 1 Project requires definitive site plan review. Following the completion of the Phase 1 Project, the Property will contain a total of 11 residential buildings on a single lot and will therefore require more than one building on a lot approval by the Board.

III. Reasons for Approval of Definitive Site Plan.

The Project satisfies the site plan review standards for review and criteria as set forth in Article V, Section 5.B of the Zoning Ordinance for the reasons stated herein:

³ 43 new parking spaces will be added to the remaining 88 parking spaces to service the Phase 1 Project and the remaining Existing Complex.

⁴ 6 EV-“ready” charging (i.e., conduit run) spaces will be designated for future electric vehicle parking.

1. Adequacy and arrangement of vehicular traffic access and circulation including intersections, road widths, pavement surfaces, dividers and traffic controls; Adequacy and arrangement of pedestrian traffic access and circulation, walkway structures, control of intersections with vehicular traffic and overall pedestrian convenience; location, arrangement, appearance and sufficiency of off-street parking and loading.

The Phase 1 Project will provide a safe, adequate and efficient layout and design for pedestrian and vehicular traffic (including emergency vehicles) both within the site and at the access points along Grove Street. The proposed and reconfigured driveways, parking areas, loading area, drive aisles and building entrances will not cause any nuisance or hazard to vehicles or pedestrians within or off the Phase 1 Project area, other parts of the Existing Complex or line of sight hazards along Grove Street. Emergency vehicles will be able to access the Phase 1 Building from Grove Street via the reconfigured East Way and West Way.

Article IV, Section 7.A.6 and Table 4.5 of the Zoning Ordinance provide that 1 loading space is required for multifamily, high-rise buildings with 10,001 to 50,000 square feet of floor area. The Phase 1 Building will be a multifamily, high-rise building with a total area of approximately 48,968 square feet and, therefore, 1 loading space is required for the Phase 1 Project. A loading space has been proposed to the south of the Phase 1 Building conveniently located near the entrance of the Phase 1 Building.

Traffic generated and patterns of access and egress will not cause congestion, hazard or a substantial change to the neighborhood character, and the Phase 1 Project will not result in a substantial increase in trip generation levels to and from the Property. According to the Transportation Impact Assessment prepared by Vanasse & Associates Inc. (the "TIA"), traffic-volume increases at the Property related to the Master Plan Project (not just the Phase 1 Project), which includes a net increase of 81 dwelling units at the Property, are estimated to be 16 trips for the AM peak hour and 20 trips for the PM peak hour. The TIA further provides that the Master Plan Project will not result in significant increases in traffic volumes or traffic delays within the study area and the Master Plan Project traffic can be adequately accommodated within the existing and future infrastructure with minimal impact on the traffic operations within the study area.

The proposed parking will adequately serve the occupants of the Phase 1 Building and will not have a material negative impact on the neighborhood with respect to on or off-street parking. The parking areas serving the Phase 1 Project will be laid out to provide convenient access to the entrances to the Phase 1 Building with handicapped accessible spaces being located close to the building. The Phase 1 Project will result in the installation of an internal crosswalk and a painted pedestrian walkway to further improve pedestrian safety between the proposed

parking area and the new walkways leading to the Phase 1 Building. The proposed parking areas and parking spaces will comply with the applicable location and dimensional requirements set forth in Article IV, Table 4.4 of the Zoning Ordinance. The parking areas will be reconfigured to provide more efficient layouts to reduce area dedicated to impervious surfaces and to create more open space. The Phase 1 Project will result in the installation of 6 handicapped accessible spaces (including 4 van accessible, which will include 1 EV space), 2 standard EV spaces and 6 standard spaces being “EV ready” with conduits laid within the parking area to allow for future installation of EV charging stations.

Table 4.4 of Article IV of the Zoning Ordinance provides minimum parking requirements for properties based on use. Because the Phase 1 Project and the remaining Existing Complex will contain 159 dwelling units of senior housing or “housing for elderly (subsidized)”, the Project would generally be required to provide 1 parking space per dwelling unit. However, Article VII, Section 6.A.ii.a of the Zoning Ordinance provides that “Eligible Developments”⁵ are entitled to a twenty-five percent (25%) reduction from the minimum parking requirements provided that the developer submits a transportation management plan (“TMP”) in connection with the definitive site plan application and maintains the TMP. As provided in the TIA, Colony is proposing to maintain a TMP in connection with the Master Plan Project which will include: (i) providing information to residents and employees related to public transportation services, bicycle, micro-mobility devices, walking alternatives and available commuter options; (ii) encourage the use of public transportation by making the public transportation schedules available in a central location for residents; and (iii) provide information on available pedestrian and bicycle facilities in the vicinity of the Master Plan Project with information being posted in a central location.

The Phase 1 Project and the remaining Existing Complex will have at least 5% of the units with income restrictions at the 60% AMI limit, and, therefore, constitute an Eligible Development. Based on the 159 residential units and applying the 25% parking reduction entitlement under Article VII, Section 6.A.ii.a, the Phase 1 Project and the remaining Existing Complex will require a minimum of 120 off-street parking spaces.⁶ As 131 parking spaces are provided for the Phase 1 Project and the remaining Existing Complex, the proposed parking meets the minimum parking requirement of the Zoning Ordinance.

In addition, the proximity of the Property to public transit opportunities and a strong network of sidewalks expected to promote less reliance on automobiles as compared to other similar developments in less transit-friendly locations. There are numerous commercial

⁵ An Eligible Development is defined in the Zoning Ordinance as “developments that include at least five percent (5%) of the units for the overall project with income restrictions at the sixty percent (60%) AMI limit.”

⁶ The minimum parking space requirement for the proposed residential units *without* the 25% Eligible Development parking entitlement is 160 spaces.

establishments including restaurants, cafes, professional offices, banks, and a grocery store within walking distance. Of particular note, the Property is in close proximity to a WRTA bus stop approximately 0.2 miles to the east in front of 1 West Boylston Street.

2. Location, arrangement, size, design and general site compatibility of buildings, lighting and signs; protection of adjacent or neighboring properties against noise, glare, unsightliness or other objectionable features.

The Phase 1 Project will dramatically enhance and improve the surrounding context and will improve the safety, efficiency, aesthetic appeal, design and quality of the site, which is outdated with poorly designed building layouts, common and recreational areas and access points. The Phase 1 Project is functionally and aesthetically compatible with the surrounding commercial, institutional and residential properties in the neighborhood, which include a mix of schools, parks, commercial buildings, and residential uses. The Property contains underutilized space, and the proposed Phase 1 Building and improvements to the site will have no greater impact on, adversely affect or be detrimental to adjoining premises or zones or the neighborhood. The proposed Phase 1 Building will improve the aesthetic appeal, design quality and economic vitality of the neighborhood. Based on the foregoing, the Phase 1 Building and improvements to the Property in connection therewith will fit into the present character of the neighborhood, and granting this approval will promote an appropriate use of the site.

The kind, size, height and nature of the Phase 1 Building and the proposed site improvements for the Property are consistent with buildings in the neighborhood and elsewhere in the City that have been developed for similar uses. The building façades will incorporate a contemporary approach with dynamic but efficient massing. Variations in exterior wall materials, depth and detailing will provide a rich texture. The Phase 1 Building will provide other architecturally appealing features including changing façade heights and balconies. The Phase 1 Building will have a “stepped” design with the Phase 1 Building having 3 stories to the east, which is closest to the residential buildings on Rosemont Road, and an increase to 4 stories to the west. Furthermore, Colony is proposing a privacy fence along the easterly boundary in addition to trees and plantings to serve as a buffer between the Phase 1 Project and the residential neighborhood on Rosemont Road.

The new Phase 1 Building will be accessible, and the apartments will be larger, with modern finishes, energy efficient appliances and state-of-the-art HVAC systems that will make the units comfortable, safe and reflective of modern design standards. The Phase 1 Building has been designed to meet all Executive Office of Housing and Livable Communities senior housing requirements and will be Federal Housing Administration compliant. The walkways and open spaces will help activate outdoor common and recreational areas and improve connections within

the site and surrounding areas. The Phase 1 Building will comply with all applicable dimensional requirements set forth in the Zoning Ordinance.

The Phase 1 Project use will not result in any increase in noise levels that would be noticeable at any abutting properties given that the same senior housing use will continue at the Property. The Phase 1 Project will neither create a nuisance, hazard, congestion or concerns pertaining to health, safety or general welfare, and there will not be substantial harm to the neighborhood or derogation from the intent of the Zoning Ordinance as a result of the Project.

The proposed outdoor lighting will be adequate for safe and secure access to and from the Phase 1 Building, walkways, sidewalks and the loading area. The proposed lighting will be dark-sky compliant, will not exceed a color temperature of 3,000K, will be appropriately arranged with directional shields so as to minimize light from shining and/or spilling onto abutting properties and streets and will not have a deleterious effect on neighboring properties. Any signage will be provided in compliance with the Zoning Ordinance.

Trash and recycling areas will be located inside the Phase 1 Building and will therefore not be visible to the public. Trash and recycling containers will be wheeled out by building staff and will be collected by a private contractor within the loading area to the south of the Phase 1 Building.

3. Adequacy of stormwater and drainage facilities; adequacy of utilities, water supply and sewerage disposal facilities and other public services

The development does not anticipate any adverse effect on drainage patterns. The best management practices (“BMPs”) for stormwater are incorporated in the design of the Phase 1 Project, and will be adequate to manage stormwater runoff generated in satisfaction of the requirements of the Zoning Ordinance, the Worcester Department of Public Works & Parks and Massachusetts Stormwater standards. The BMPs include deep sump hooded catch basins and proprietary stormwater treatment units, subsurface detention system, and an operation and maintenance plan for the operation of the aforementioned BMPs. Stormwater will flow from the detention system into the municipal drainage system in Grove Street.

New water and sewer connections, electric service facilities and infrastructure will need to be provided for the Phase 1 Building and the Phase 1 Project. A new transformer and generator will be installed as part of the Phase 1 Project. Colony is conducting ongoing coordination with the City of Worcester Department of Public Works & Parks and the applicable utility companies. Initial coordination efforts indicate that sufficient utility lines and infrastructure currently exist within surrounding streets and are readily available for the Phase 1 Project.

4. Adequacy, type and arrangement of trees, shrubs and other landscaping elements in accordance with the Landscaping Design Standards set forth in Article V, Section 5(C); adequacy of useable common property or open space.

The Phase 1 Project will provide enhanced open space by way of landscape buffers that will contain a variety of aesthetically appealing native trees and shrubs. The landscape buffers will comply with the Zoning Ordinance, and will serve as a visual buffer between the site and adjoining properties and streets. Colony is proposing a privacy fence along the easterly boundary in addition to trees and plantings to serve as a buffer between the Phase 1 Project and the residential neighborhood on Rosemont Road. All new trees will be Asian Long-Horned Beetle and Emerald Ash Borer compliant. The Phase 1 Project proposes to create common areas and open space amenity areas (e.g. the new pergola covered patio) that can be used by residents and staff for outdoor leisure and/or passive recreation.

5. Adequacy of fire lanes and other emergency zones and the provisions of fire hydrants.

There is no special emergency zone noted on the plans. However, fire trucks and other emergency vehicles will be able to access the Phase 1 Building from Grove Street via the reconfigured East Way and park within the loading area which is located immediately to the south of the Phase 1 Building. The Phase 1 Building will be serviced by existing municipal fire hydrants located on the Property and on Grove Street. The Phase 1 Building will utilize a fire suppression system with a connection to the water service main within Grove Street. There are no new hydrants proposed as part of the Phase 1 Project.

6. Special attention to the adequacy of structures, roadways and landscaping in areas with susceptibility to ponding, flooding and/or erosion; adequacy of erosion and sedimentation control measures to be utilized during and after construction.

There are minimal natural terrain features at the Property, and the Phase 1 Project will minimize, to the extent practicable, changes to the natural terrain as a result of the Project. The proposed drainage and site design layout of the Phase 1 Project improvements are designed to reduce any susceptibility of ponding, flooding and erosion. The Property is located outside of the Floodplain Overlay District and ecologically sensitive areas. There are no wetland resource areas on the Property. During construction, appropriate measures will be taken for controlling erosion, sedimentation and pollution as set forth in the plans submitted. The premises will remain maintained upon completion of the construction phase.

7. Conformance of the site design with the purposes and intent of the Worcester Zoning Ordinance.

The Phase 1 Project conforms with the purposes and intent of the Zoning Ordinance. The Phase 1 Project complies with the design requirements of Article V, Section 5.B, Article IV, Section 7.A.3, and other applicable provisions of the Zoning Ordinance. The Phase 1 Project meets the intent of the Zoning Ordinance in that it will provide much-needed and in-demand affordable, senior housing to support the City's critical housing stock. The Phase 1 Project is a redevelopment of an existing apartment complex that is highly outdated and in need of upgrades, maintenance and repairs, offers an aesthetically pleasing and is accessible, compact, safe and inviting. The Phase 1 Project promotes environmentally-responsible (e.g., Passive House design, EV ready conduits, rooftop solar and other eco-friendly features) development and utilizes parking areas more efficiently. Moreover, the Phase 1 Project will encourage the most appropriate use of the land in a manner that promotes the creation and preservation of housing of such type, size and cost suitable for meeting the current and future needs of the City, protects natural resources as well as the architectural, scenic and aesthetic qualities of the community and protects against the uses of land which are incompatible with nearby uses, undue intensity of noise and danger and congestion in travel and transportation.

8. Conformance and compatibility of the site plan design with structures listed in the most recent State Register of Historic Places.

The 3 existing buildings at the Property to be demolished are not listed on the National Register of Historic Places or the Massachusetts Cultural Resource Information System (MACRIS) database. The Phase 1 Project will continue to enhance the existing aesthetics and character of the neighborhood, and the Property, including the Phase 1 Building, will be compatible with other historic and non-historic structures in the neighborhood.

9. Adequacy and impact on the regional transportation system.

The Phase 1 Project will not materially impact the regional transportation system as there will not be a significant increase in traffic resulting from the Master Plan Project and the neighborhood is transit-oriented (i.e., a WRTA bus stop is located close to the Property). There exist many commercial establishments within walking distance from the Property. The installation of new accessible walkways will assist in promoting walkability to and from the Property.

10. Adequacy of plans and protective measures to ensure minimal risk of contamination to surface or groundwater.

The Property is outside of the Water Resources Protection Overlay District and does not contain ecologically sensitive areas, nor are there surface waters or wetland resource areas on the Property. There will be no storage of hazardous materials or substances at the Property. Based on the foregoing, plans and protective measures under the Phase 1 Project will ensure minimal risk of contamination to surface or groundwater.

Waivers and Other Zoning Relief.

Colony seeks any waivers and other zoning relief, to the extent applicable.

Amendment 1178

AN ORDINANCE AMENDING ARTICLE III
OF THE WORCESTER ZONING ORDINANCE ADOPTED APRIL
2, 1991, RELATIVE TO EXTENSION OF THE BUSINESS, GENERAL-3.0 (BG-3.0)
ZONING DISTRICT IN THE VICINITY OF GROVE STREET AND CHADWICK STREET

Be it ordained by the City Council of the City of Worcester as follows:

Article III, Section 2 of the Worcester Zoning Ordinance adopted April 2, 1991, is hereby amended to alter the official Zoning Map by changing the area within the boundaries hereinafter described to Business, General - 3.0 (BG-3.0):

485 Grove Street

Beginning at a point on the centerline of Grove Street located at the intersection with the centerline of Judson Road, thence southeasterly a distance of 244 feet, more or less, along the centerline of Grove Street, to a point;
thence southerly a distance of 30 feet, more or less, to a point on the southwesterly sideline of Grove Street;
thence S 23°45'52" W a distance of 135.32 feet to a point;
thence N 66°14'08" W a distance of 72.15 feet to a point;
thence S 21°38'33" W a distance of 313.63 feet to a point;
thence N 65°23'15" W a distance of 101.66 feet to a point;
thence N 64°59'05" W a distance of 150.18 feet to a point;
thence S 22°29'55" W a distance of 290.60 feet to a point;
thence N 69°47'23" W a distance of 114.02 feet to a point;
thence N 23°22'40" W a distance of 51.05 feet to a point;
thence N 22°48'12" E a distance of 820.68 feet to a point on the southwesterly sideline of Grove Street;
thence northerly a distance of 30 feet, more or less, perpendicular to Grove Street, to a point on the centerline of Grove Street;
thence southeasterly a distance of 240 feet, more or less, along the centerline of Grove Street, to the point of beginning.

41 Chadwick Street

Beginning at a point on the centerline of Chadwick Street at the intersection with the centerline of Aspinwall Road, thence easterly, a distance of 25 feet, more or less, along the centerline of Chadwick Street, to a point;
thence southerly a distance of 20 feet, more or less, to a point on the southerly sideline of Chadwick Street;
thence S 18°13'53" W a distance of 125.00 feet to a point;
thence adjoining southwesterly the 101 Chadwick Street parcel, N 71°46'07" W a distance of 155.98 feet to a point;

thence N 20°29'53" E a distance of 125.10 feet to a point on the southerly sideline of Chadwick Street;
thence northerly a distance of 20 feet, more or less, perpendicular to Chadwick Street, to a point on the centerline of Chadwick Street;
thence easterly a distance of 125 feet, more or less, along the centerline of Chadwick Street, to the point of beginning.

101 Chadwick Street

Beginning at the most northerly corner of parcel and adjoining northerly the 41 Chadwick Street parcel;

thence S 71°46'07" E a distance of 383.64 feet to a point;
thence S 18°13'53" W a distance of 364.79 feet to a point;
thence N 62°46'42" W a distance of 399.95 feet to a point;
thence N 20°23'23" E a distance of 302.51 feet to the point of beginning.

In City Council

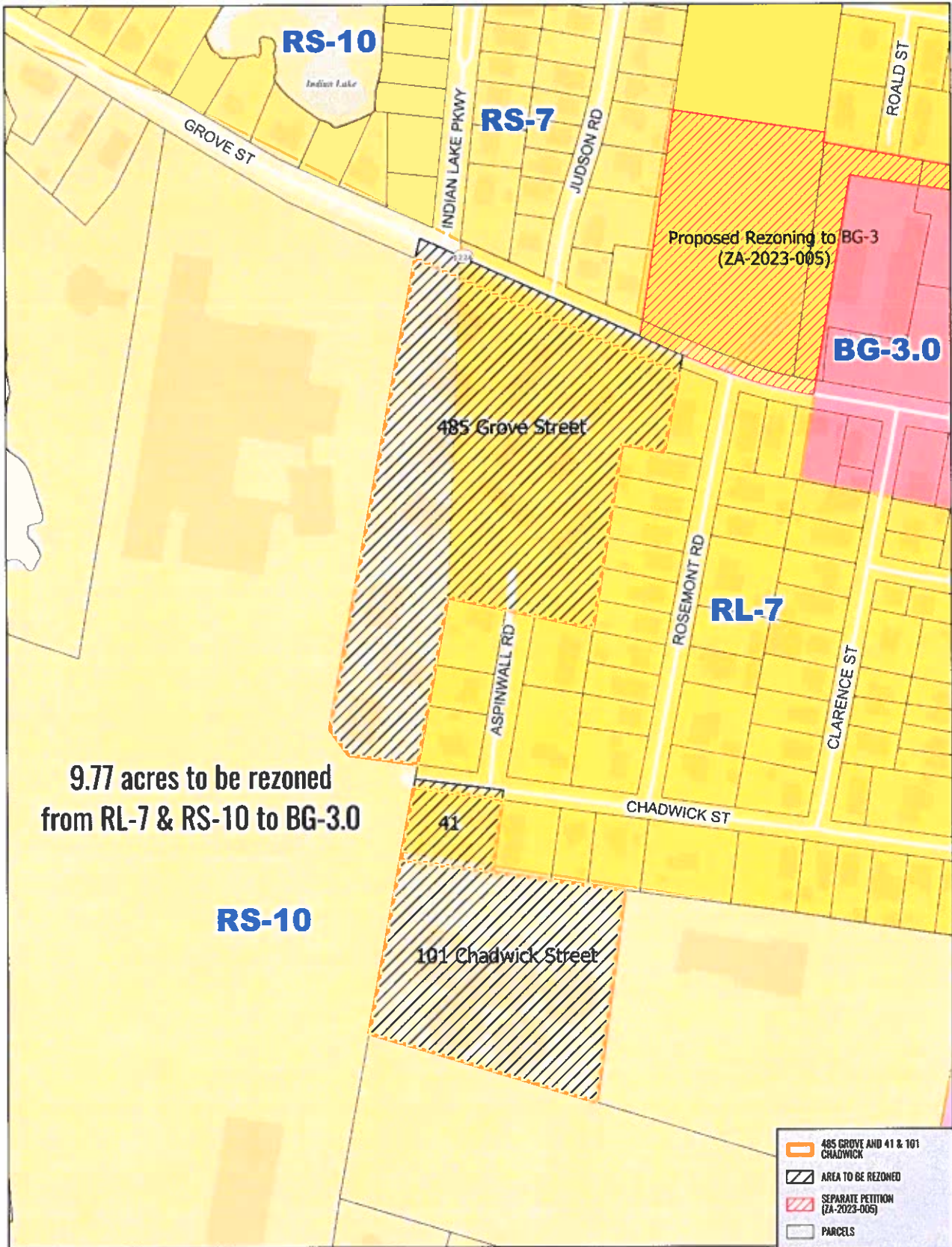
December 19, 2023

Passed to be Ordained by a yea and nay vote of Ten Yeas and No Nays



A Copy. Attest:

**Nikolin Vangjeli
City Clerk**



9.77 acres to be rezoned
from RL-7 & RS-10 to BG-3.0

RS-10

485 GROVE AND 41 & 101 CHADWICK

AREA TO BE REZONED

SEPARATE PETITION (ZA-2023-005)

PARCELS

CITY STREETS

BUILDINGS

**485 GROVE STREET AND
41 & 101 CHADWICK STREET**
Proposed Rezoning

JUNE 23, 2023

PRODUCED BY THE CITY OF WORCESTER
DIVISION OF PLANNING & REGULATORY SERVICES
WORCESTER, MASSACHUSETTS



DATA SOURCES:
All data: City of Worcester Geographic Information System
Original Data - Digitized at 1:480 scale (Data true resolution: 1 inch = 40 feet)
Updated Using Spring 2003 Aerial Photography at 1:1,200 scale (1 inch = 100 feet).
Further Updates Using City of Worcester Information.

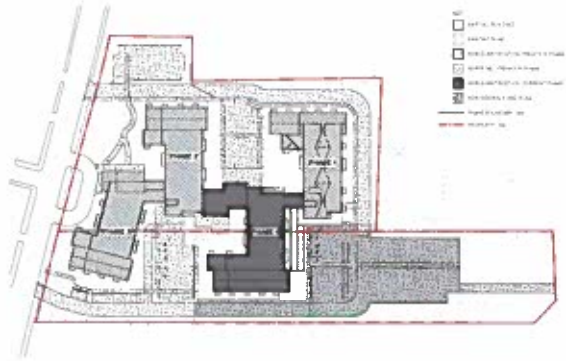
COORDINATE SYSTEM:
All map data is in the Massachusetts State Plane Coordinate system,
North American Datum of 1983, Massachusetts Mainland Zone (4151).
Units are measured in Feet.

Considerable effort has been made to ensure the accuracy, correctness and timeliness of data presented; however, this information is only as accurate as its sources and may not reflect the most current information. The City of Worcester assumes no liability for any errors, omissions or inaccuracies and makes no warranty, representation or guaranty of any kind, express or implied, as to the content or for any decisions made or actions taken or not taken by the user based upon any information provided on this map.





2 PHASE 2 DIAGRAM
SCALE: 1/4" = 1'-0"



4 PHASE 4 DIAGRAM
SCALE: 1/4" = 1'-0"



1 PHASE 1 DIAGRAM
SCALE: 1/4" = 1'-0"



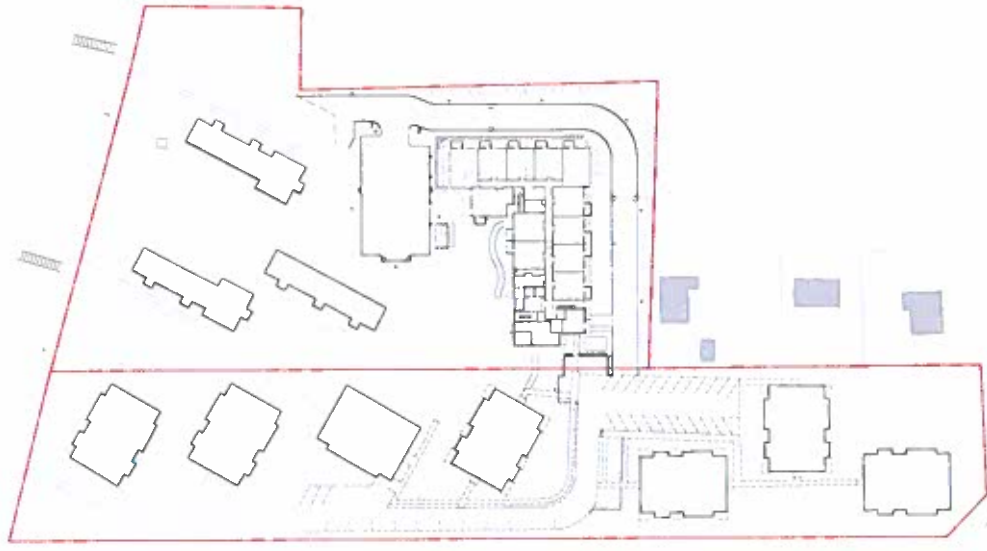
3 PHASE 3 DIAGRAM
SCALE: 1/4" = 1'-0"

PCA

PROJECT NO. 101-150000-01
PROJECT NAME: COLONY RETIREMENT HOMES - PHASE 1
DATE: 10/15/15
SCALE: AS SHOWN
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
DATE: 10/15/15

COLONY RETIREMENT HOMES - PHASE 1

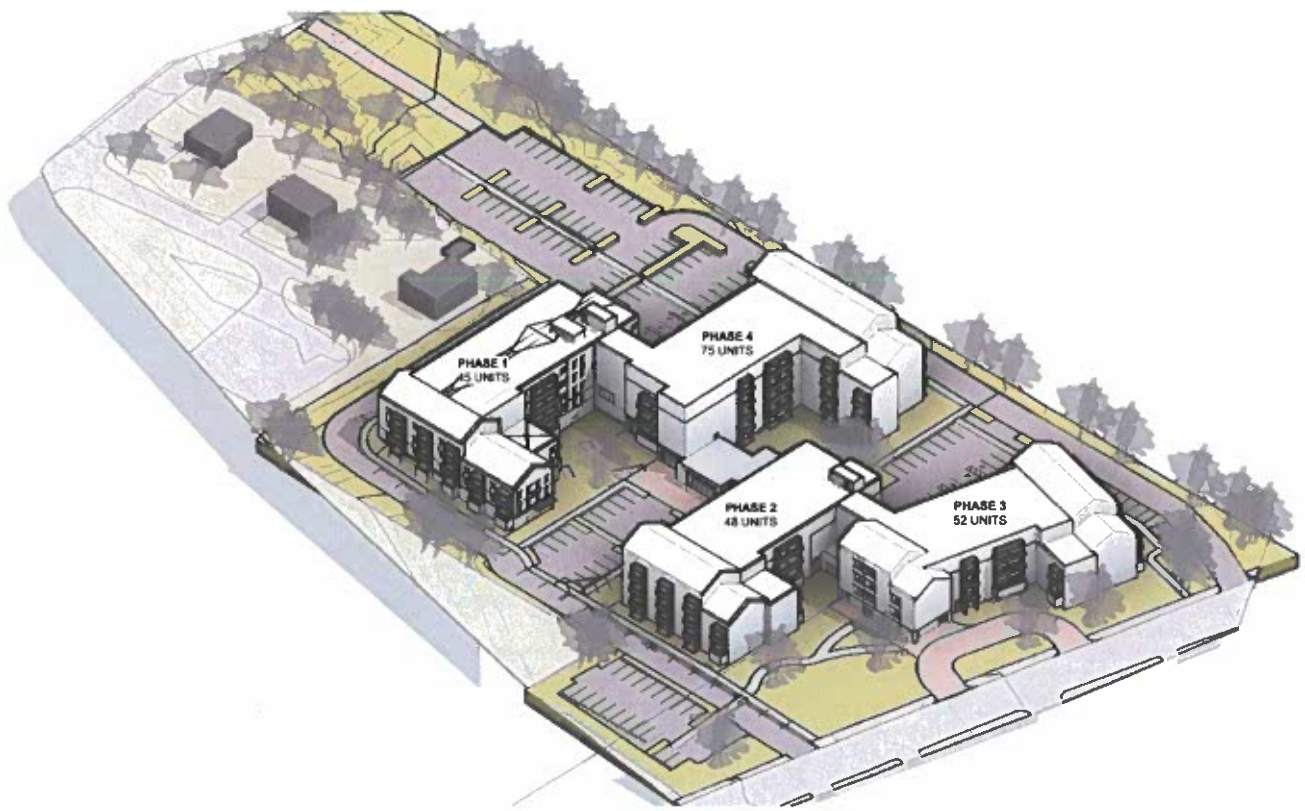
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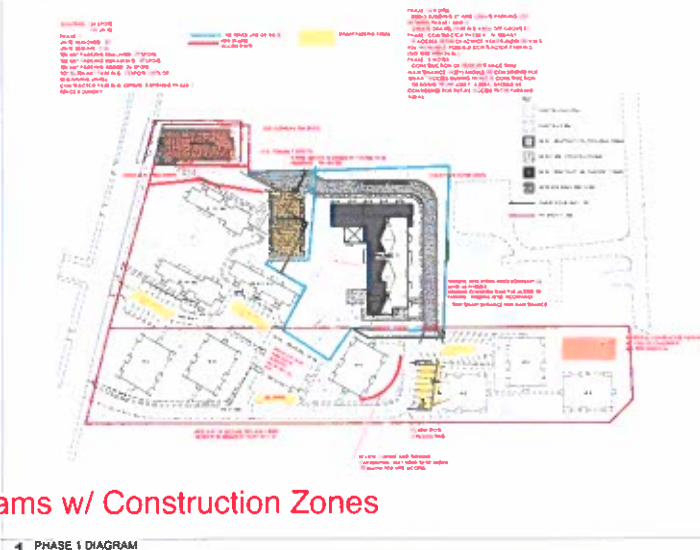
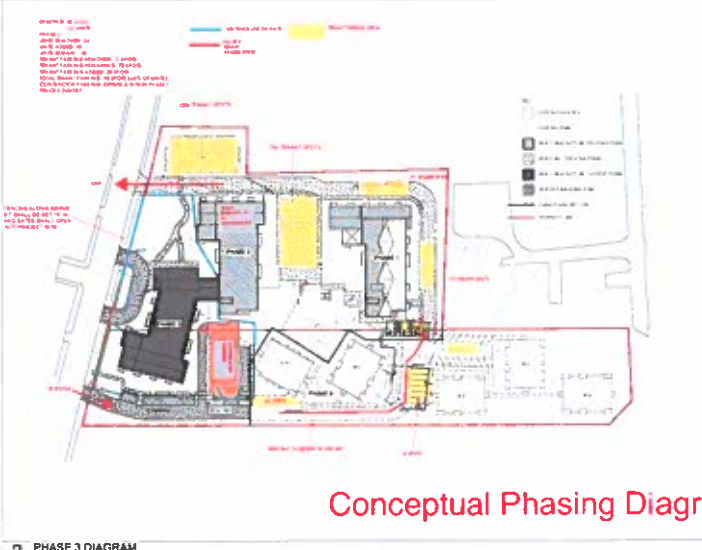
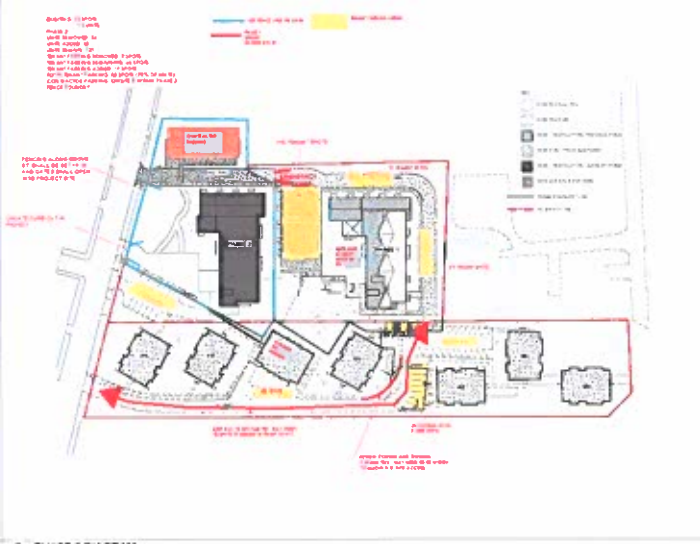
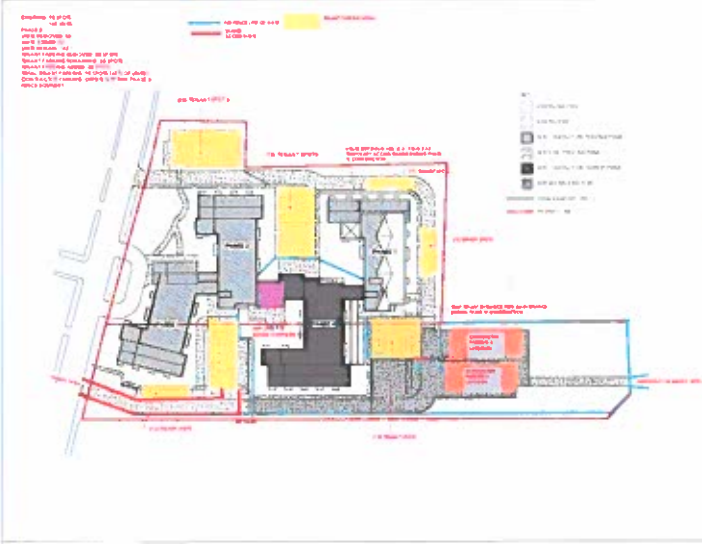
SITE PLAN - P1

GO 05

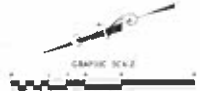
02 Axon







Conceptual Phasing Diagrams w/ Construction Zones



SHEET NOTES

1. LISTING IS TO BE MAINTAINED AS SHOWN ON THIS PLAN FOR THE INTEREST AND CONVENIENCE OF THE OWNER.

2. ALL PARTS OF LISTING IS TO BE MAINTAINED AS SHOWN ON THIS PLAN FOR THE INTEREST AND CONVENIENCE OF THE OWNER.

3. THE OWNER IS TO BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF THE LISTING AS SHOWN ON THIS PLAN FOR THE INTEREST AND CONVENIENCE OF THE OWNER.

4. THE OWNER IS TO BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF THE LISTING AS SHOWN ON THIS PLAN FOR THE INTEREST AND CONVENIENCE OF THE OWNER.

PROJECT ZONING INFORMATION

ITEM	REQUIREMENT	COMPLIANCE	REMARKS
1. ZONING DISTRICT	RS-10	RS-10	
2. MAXIMUM BUILDING HEIGHT	35.00 FT	35.00 FT	
3. MAXIMUM LOT COVERAGE	30.00%	30.00%	
4. MAXIMUM SETBACK	10.00 FT	10.00 FT	
5. MAXIMUM SIDE SETBACK	5.00 FT	5.00 FT	
6. MAXIMUM REAR SETBACK	10.00 FT	10.00 FT	
7. MAXIMUM GROUND COVER	5.00%	5.00%	
8. MAXIMUM LOT AREA	10,000 SQ FT	10,000 SQ FT	
9. MAXIMUM LOT WIDTH	100 FT	100 FT	
10. MAXIMUM LOT DEPTH	100 FT	100 FT	

PARKING SCHEDULE - PHASE 1

REQUIRED PARKING FOR PHASE 1 (PHASE 1 ONLY):

USE	TYPE	SPACES
RESIDENTIAL	STANDARD	100
RESIDENTIAL	COMPACT	200
RESIDENTIAL	DISABLED	5
RESIDENTIAL	BIKE	10
RESIDENTIAL	TOTAL	315

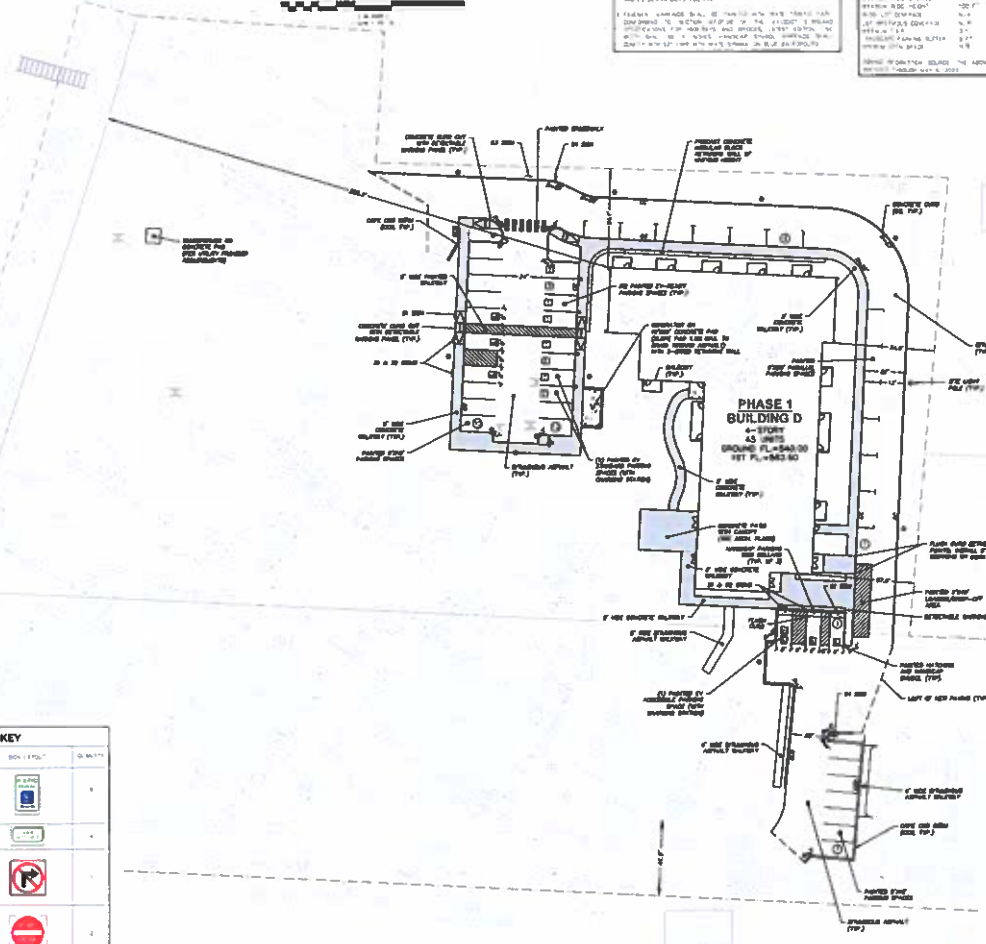
EXISTING PARKING SPACES: 315 SPACES

ADDITIONAL PARKING SPACES: 0 SPACES

TOTAL PARKING SPACES: 315 SPACES

SIGNAGE KEY

NO.	SYMBOL	DESCRIPTION	QTY.
1	[Symbol]	RESIDENTIAL	1
2	[Symbol]	RESIDENTIAL	1
3	[Symbol]	RESIDENTIAL	1
4	[Symbol]	RESIDENTIAL	1



PCA

PROJECT ZONING INFORMATION

PARKING SCHEDULE - PHASE 1

COLONY RETIREMENT HOMES - PHASE 1

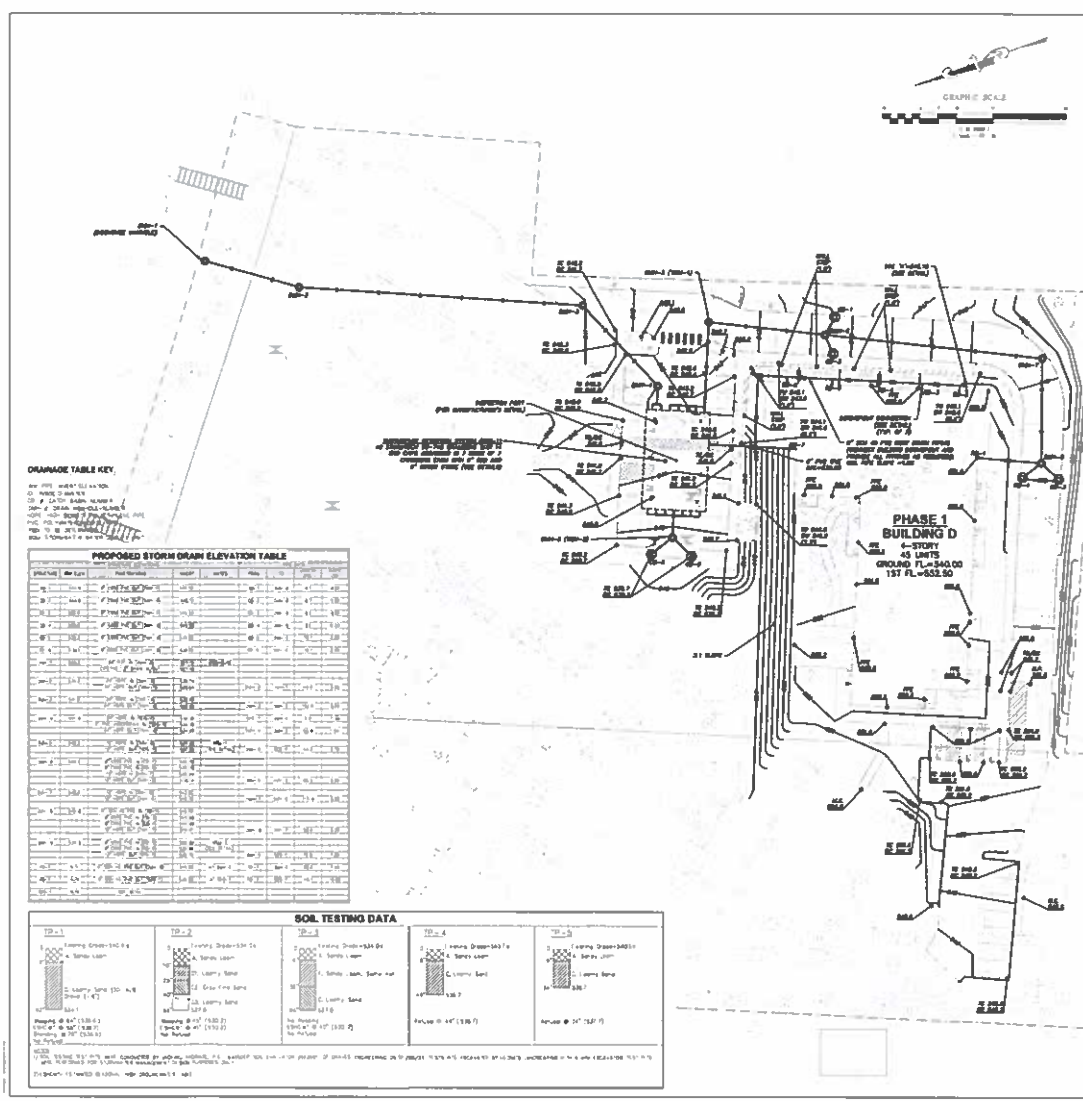
LANDSCAPE ARCHITECT

DATE: 10/15/2024

SCALE: 1/8" = 1'-0"

LANDSCAPE PLAN

C102



- SHEET NOTES**
- 1) DRAINAGE SHALL BE TO ALL DRAINAGE AREAS WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 2) PROVIDE POINTS DRAINAGE IN ALL FLOOD ZONES WITH 8 INCHES INCLUDING WATER FROM ALL DRAINAGE DRAINAGE AREAS AS SHOWN SHALL BE PROVIDED TO ALL FLOOD ZONES. PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES. PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES. PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 3) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 4) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 5) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 6) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 7) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 8) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 9) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 10) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 11) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 12) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 13) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 14) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 15) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 16) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 17) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 18) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 19) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 20) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 21) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 22) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 23) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 24) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 25) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 26) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 27) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 28) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 29) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 30) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 31) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 32) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 33) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 34) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 35) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 36) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 37) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 38) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 39) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 40) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 41) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 42) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 43) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 44) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 45) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 46) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 47) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 48) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 49) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.
 - 50) PROVIDE POINTS DRAINAGE WITH 8 INCHES OF LOW AND 6 INCHES OF HIGH WATER PROTECTION ON THESE SITES.

PROPOSED STORM DRAIN ELEVATION TABLE

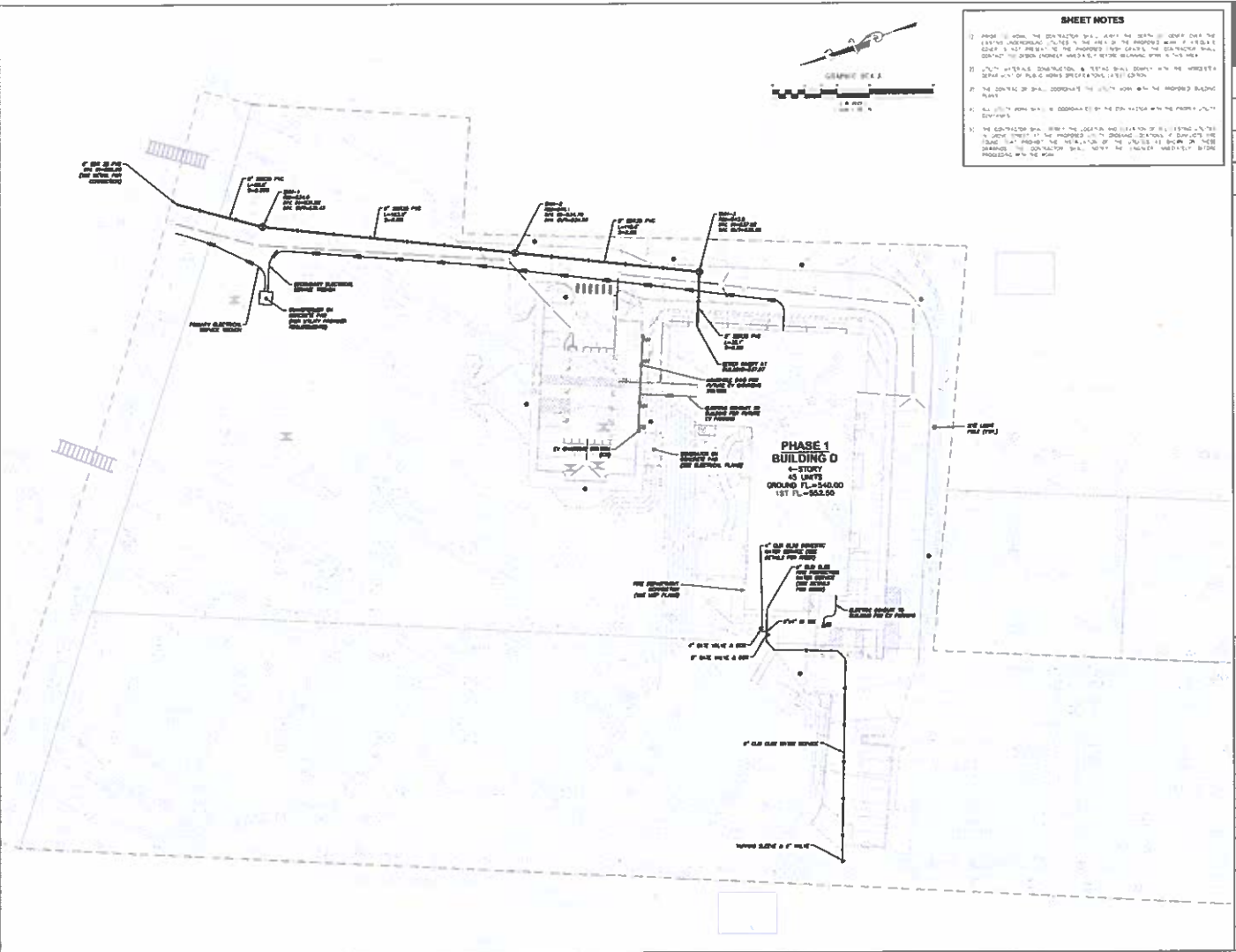
STATION	INVERT	PIPE	LENGTH	OUTLET	OUTLET INVERT	REMARKS
1+00	100.00	12"	10'	1+10	99.50	TO MANHOLE
1+10	99.50	12"	10'	1+20	99.00	TO MANHOLE
1+20	99.00	12"	10'	1+30	98.50	TO MANHOLE
1+30	98.50	12"	10'	1+40	98.00	TO MANHOLE
1+40	98.00	12"	10'	1+50	97.50	TO MANHOLE
1+50	97.50	12"	10'	1+60	97.00	TO MANHOLE
1+60	97.00	12"	10'	1+70	96.50	TO MANHOLE
1+70	96.50	12"	10'	1+80	96.00	TO MANHOLE
1+80	96.00	12"	10'	1+90	95.50	TO MANHOLE
1+90	95.50	12"	10'	2+00	95.00	TO MANHOLE
2+00	95.00	12"	10'	2+10	94.50	TO MANHOLE
2+10	94.50	12"	10'	2+20	94.00	TO MANHOLE
2+20	94.00	12"	10'	2+30	93.50	TO MANHOLE
2+30	93.50	12"	10'	2+40	93.00	TO MANHOLE
2+40	93.00	12"	10'	2+50	92.50	TO MANHOLE
2+50	92.50	12"	10'	2+60	92.00	TO MANHOLE
2+60	92.00	12"	10'	2+70	91.50	TO MANHOLE
2+70	91.50	12"	10'	2+80	91.00	TO MANHOLE
2+80	91.00	12"	10'	2+90	90.50	TO MANHOLE
2+90	90.50	12"	10'	3+00	90.00	TO MANHOLE
3+00	90.00	12"	10'	3+10	89.50	TO MANHOLE
3+10	89.50	12"	10'	3+20	89.00	TO MANHOLE
3+20	89.00	12"	10'	3+30	88.50	TO MANHOLE
3+30	88.50	12"	10'	3+40	88.00	TO MANHOLE
3+40	88.00	12"	10'	3+50	87.50	TO MANHOLE
3+50	87.50	12"	10'	3+60	87.00	TO MANHOLE
3+60	87.00	12"	10'	3+70	86.50	TO MANHOLE
3+70	86.50	12"	10'	3+80	86.00	TO MANHOLE
3+80	86.00	12"	10'	3+90	85.50	TO MANHOLE
3+90	85.50	12"	10'	4+00	85.00	TO MANHOLE
4+00	85.00	12"	10'	4+10	84.50	TO MANHOLE
4+10	84.50	12"	10'	4+20	84.00	TO MANHOLE
4+20	84.00	12"	10'	4+30	83.50	TO MANHOLE
4+30	83.50	12"	10'	4+40	83.00	TO MANHOLE
4+40	83.00	12"	10'	4+50	82.50	TO MANHOLE
4+50	82.50	12"	10'	4+60	82.00	TO MANHOLE
4+60	82.00	12"	10'	4+70	81.50	TO MANHOLE
4+70	81.50	12"	10'	4+80	81.00	TO MANHOLE
4+80	81.00	12"	10'	4+90	80.50	TO MANHOLE
4+90	80.50	12"	10'	5+00	80.00	TO MANHOLE
5+00	80.00	12"	10'	5+10	79.50	TO MANHOLE
5+10	79.50	12"	10'	5+20	79.00	TO MANHOLE
5+20	79.00	12"	10'	5+30	78.50	TO MANHOLE
5+30	78.50	12"	10'	5+40	78.00	TO MANHOLE
5+40	78.00	12"	10'	5+50	77.50	TO MANHOLE
5+50	77.50	12"	10'	5+60	77.00	TO MANHOLE
5+60	77.00	12"	10'	5+70	76.50	TO MANHOLE
5+70	76.50	12"	10'	5+80	76.00	TO MANHOLE
5+80	76.00	12"	10'	5+90	75.50	TO MANHOLE
5+90	75.50	12"	10'	6+00	75.00	TO MANHOLE
6+00	75.00	12"	10'	6+10	74.50	TO MANHOLE
6+10	74.50	12"	10'	6+20	74.00	TO MANHOLE
6+20	74.00	12"	10'	6+30	73.50	TO MANHOLE
6+30	73.50	12"	10'	6+40	73.00	TO MANHOLE
6+40	73.00	12"	10'	6+50	72.50	TO MANHOLE
6+50	72.50	12"	10'	6+60	72.00	TO MANHOLE
6+60	72.00	12"	10'	6+70	71.50	TO MANHOLE
6+70	71.50	12"	10'	6+80	71.00	TO MANHOLE
6+80	71.00	12"	10'	6+90	70.50	TO MANHOLE
6+90	70.50	12"	10'	7+00	70.00	TO MANHOLE
7+00	70.00	12"	10'	7+10	69.50	TO MANHOLE
7+10	69.50	12"	10'	7+20	69.00	TO MANHOLE
7+20	69.00	12"	10'	7+30	68.50	TO MANHOLE
7+30	68.50	12"	10'	7+40	68.00	TO MANHOLE
7+40	68.00	12"	10'	7+50	67.50	TO MANHOLE
7+50	67.50	12"	10'	7+60	67.00	TO MANHOLE
7+60	67.00	12"	10'	7+70	66.50	TO MANHOLE
7+70	66.50	12"	10'	7+80	66.00	TO MANHOLE
7+80	66.00	12"	10'	7+90	65.50	TO MANHOLE
7+90	65.50	12"	10'	8+00	65.00	TO MANHOLE
8+00	65.00	12"	10'	8+10	64.50	TO MANHOLE
8+10	64.50	12"	10'	8+20	64.00	TO MANHOLE
8+20	64.00	12"	10'	8+30	63.50	TO MANHOLE
8+30	63.50	12"	10'	8+40	63.00	TO MANHOLE
8+40	63.00	12"	10'	8+50	62.50	TO MANHOLE
8+50	62.50	12"	10'	8+60	62.00	TO MANHOLE
8+60	62.00	12"	10'	8+70	61.50	TO MANHOLE
8+70	61.50	12"	10'	8+80	61.00	TO MANHOLE
8+80	61.00	12"	10'	8+90	60.50	TO MANHOLE
8+90	60.50	12"	10'	9+00	60.00	TO MANHOLE
9+00	60.00	12"	10'	9+10	59.50	TO MANHOLE
9+10	59.50	12"	10'	9+20	59.00	TO MANHOLE
9+20	59.00	12"	10'	9+30	58.50	TO MANHOLE
9+30	58.50	12"	10'	9+40	58.00	TO MANHOLE
9+40	58.00	12"	10'	9+50	57.50	TO MANHOLE
9+50	57.50	12"	10'	9+60	57.00	TO MANHOLE
9+60	57.00	12"	10'	9+70	56.50	TO MANHOLE
9+70	56.50	12"	10'	9+80	56.00	TO MANHOLE
9+80	56.00	12"	10'	9+90	55.50	TO MANHOLE
9+90	55.50	12"	10'	10+00	55.00	TO MANHOLE

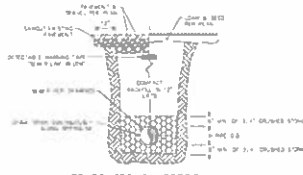
SOIL TESTING DATA

TEST NO.	TEST TYPE	TEST RESULT
101-1	Compaction	98%
101-2	Moisture	12%
101-3	Specific Gravity	2.65
101-4	Liquid Limit	25
101-5	Plasticity Index	7
101-6	Shrinkage	0.5%
101-7	Penetration	1000
101-8	Unconfined Compressive Strength	1.5
101-9	Shear Strength	0.5
101-10	Soil Classification	CL-ML

SHEET NOTES

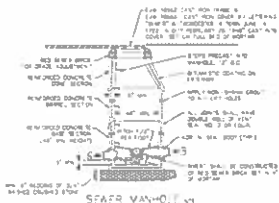
- 1) PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES LOCATED TO THE PROPERTY BY THE PROPOSED OWNER. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE AGENCIES TO OBTAIN THE NECESSARY INFORMATION.
- 2) THE CONTRACTOR SHALL COORDINATE THE UTILITIES WORK WITH THE PROPOSED BUILDING PLAN.
- 3) ALL UTILITIES SHALL BE COORDINATED BY THE CONTRACTOR WITH THE PROPERTY UTILITIES DEPARTMENT.
- 4) THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND SHALL PROVIDE THE NECESSARY PROTECTION OF SUCH UTILITIES AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY UTILITIES DAMAGED DURING THE CONSTRUCTION SHALL NOTIFY THE AGENCIES IMMEDIATELY UPON DISCOVERY OF SUCH DAMAGE.



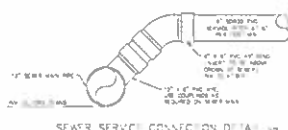


SEWER TRENCH SECTION

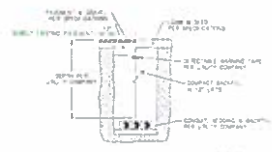
NOTES:
1. TRENCH SHALL BE 18" MIN TO 24" MAX DEPTH.
2. TRENCH SHALL BE 18" MIN TO 24" MAX WIDTH.
3. TRENCH SHALL BE 18" MIN TO 24" MAX LENGTH.



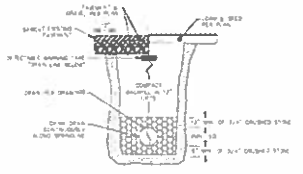
SEWER MANHOLE



SEWER SERVICE CONNECTION DETAIL

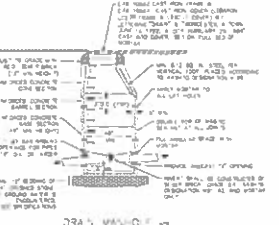


ELECTRICAL, CABLE & TELEPHONE SERVICE TRENCH SECTION

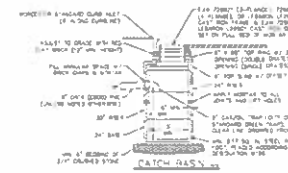


HDPE/PVC DRAIN TRENCH SECTION

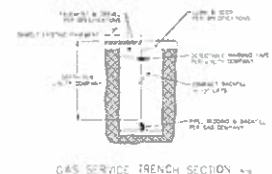
NOTES:
1. TRENCH SHALL BE 18" MIN TO 24" MAX DEPTH.
2. TRENCH SHALL BE 18" MIN TO 24" MAX WIDTH.
3. TRENCH SHALL BE 18" MIN TO 24" MAX LENGTH.



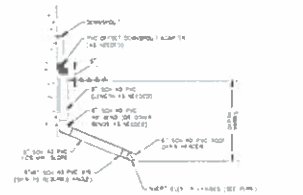
DRAIN MANHOLE



DRAIN SERVICE CONNECTION DETAIL



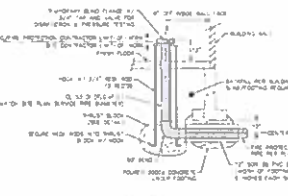
GAS SERVICE TRENCH SECTION



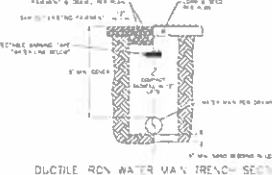
DOWNSPOUT CONNECTION



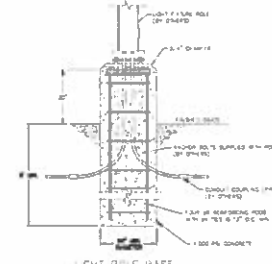
INVERT BLOCK DETAIL



DOMESTIC/FIRE PROTECTION WATER SERVICE RISER

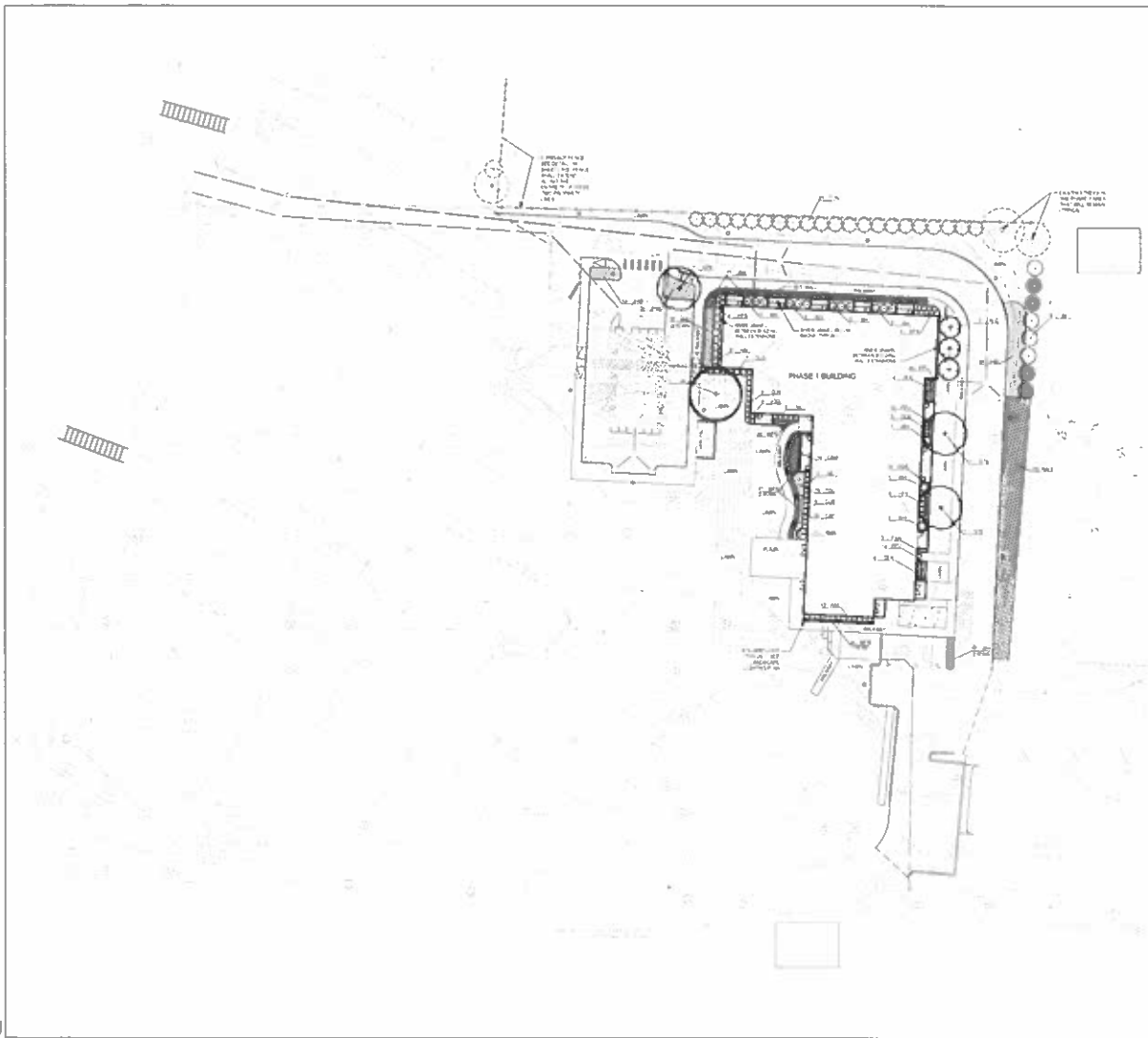


DUCTILE IRON WATER MAIN TRENCH SECTION



LIGHT POLE BASE

NOTES:
1. LIGHT POLE SHALL BE 18" MIN TO 24" MAX DEPTH.
2. LIGHT POLE SHALL BE 18" MIN TO 24" MAX WIDTH.
3. LIGHT POLE SHALL BE 18" MIN TO 24" MAX LENGTH.



NOTES

1. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL LANDSCAPE ARCHITECTS ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR LANDSCAPE ARCHITECTURE.
2. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS IDENTIFIED THE EXISTING CONDITIONS AND THE NEEDS OF THE SITE.
3. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SURROUNDING AREAS AND HAS IDENTIFIED THE EXISTING CONDITIONS AND THE NEEDS OF THE SURROUNDING AREAS.
4. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL LANDSCAPE ARCHITECTS ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR LANDSCAPE ARCHITECTURE.
5. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SURROUNDING AREAS AND HAS IDENTIFIED THE EXISTING CONDITIONS AND THE NEEDS OF THE SURROUNDING AREAS.
6. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL LANDSCAPE ARCHITECTS ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR LANDSCAPE ARCHITECTURE.
7. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SURROUNDING AREAS AND HAS IDENTIFIED THE EXISTING CONDITIONS AND THE NEEDS OF THE SURROUNDING AREAS.
8. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL LANDSCAPE ARCHITECTS ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR LANDSCAPE ARCHITECTURE.
9. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SURROUNDING AREAS AND HAS IDENTIFIED THE EXISTING CONDITIONS AND THE NEEDS OF THE SURROUNDING AREAS.
10. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL LANDSCAPE ARCHITECTS ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR LANDSCAPE ARCHITECTURE.



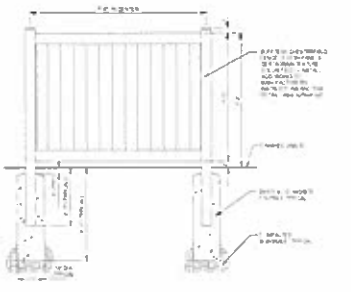
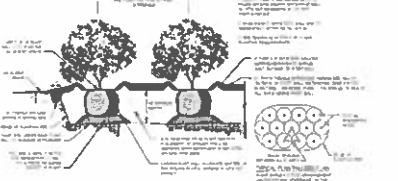
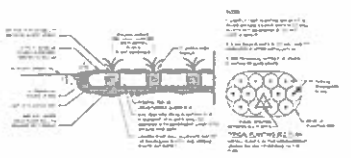
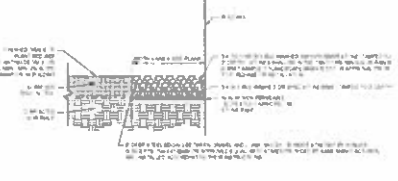
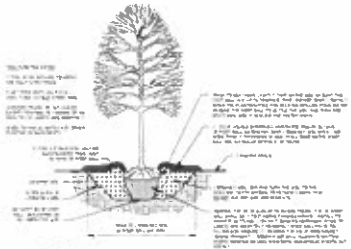
PCA

COLONY RETIREMENT HOMES - PHASE 1

LANDSCAPE ARCHITECTURE

PLANTING & FENCE PLAN

L101



PLANT SCHEDULE					
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	MARKET RATE (\$ PER UNIT)	PLANT SPECIES & NOTES
1	1	...	...	...	...
2	1	...	...	...	...
3	1	...	...	...	...
4	1	...	...	...	...
5	1	...	...	...	...
6	1	...	...	...	...
7	1	...	...	...	...
8	1	...	...	...	...
9	1	...	...	...	...
10	1	...	...	...	...
11	1	...	...	...	...
12	1	...	...	...	...
13	1	...	...	...	...
14	1	...	...	...	...
15	1	...	...	...	...
16	1	...	...	...	...
17	1	...	...	...	...
18	1	...	...	...	...
19	1	...	...	...	...
20	1	...	...	...	...
21	1	...	...	...	...
22	1	...	...	...	...
23	1	...	...	...	...
24	1	...	...	...	...
25	1	...	...	...	...
26	1	...	...	...	...
27	1	...	...	...	...
28	1	...	...	...	...
29	1	...	...	...	...
30	1	...	...	...	...
31	1	...	...	...	...
32	1	...	...	...	...
33	1	...	...	...	...
34	1	...	...	...	...
35	1	...	...	...	...
36	1	...	...	...	...
37	1	...	...	...	...
38	1	...	...	...	...
39	1	...	...	...	...
40	1	...	...	...	...
41	1	...	...	...	...
42	1	...	...	...	...
43	1	...	...	...	...
44	1	...	...	...	...
45	1	...	...	...	...
46	1	...	...	...	...
47	1	...	...	...	...
48	1	...	...	...	...
49	1	...	...	...	...
50	1	...	...	...	...

NOTES:
1. ALL PLANTS TO BE SUPPLIED BY THE CONTRACTOR.
2. ALL PLANTS TO BE INSTALLED BY THE CONTRACTOR.
3. ALL PLANTS TO BE MAINTAINED BY THE CONTRACTOR.
4. ALL PLANTS TO BE WATERED BY THE CONTRACTOR.
5. ALL PLANTS TO BE FERTILIZED BY THE CONTRACTOR.
6. ALL PLANTS TO BE PRUNED BY THE CONTRACTOR.
7. ALL PLANTS TO BE REPLANTED BY THE CONTRACTOR.
8. ALL PLANTS TO BE PROTECTED BY THE CONTRACTOR.
9. ALL PLANTS TO BE REMOVED BY THE CONTRACTOR.
10. ALL PLANTS TO BE REINSTALLED BY THE CONTRACTOR.

COLONY RETIREMENT HOMES - PHASE 1

485 GROVE STREET, WORCESTER MA 01605
 02.02.2024 50% CONSTRUCTION DOCUMENTS

PCA PROJECT #: 23010.00



COLONY RETIREMENT HOMES PHASE 1 - OVERALL PROJECT DATA

LEVEL	FLOOR FINISH	CEILING FIN.	FIN. FIN.	MECHANICAL	MECHANICAL	TOTAL
LEVEL 1	0.000	0.000	0.000	0.000	0.000	0.000
LEVEL 2	0.000	2.200	0.000	2.200	0.000	2.200
LEVEL 3	0.000	2.200	0.000	2.200	0.000	2.200
LEVEL 4	0.000	2.200	0.000	2.200	0.000	2.200
LEVEL 5	0.000	2.200	0.000	2.200	0.000	2.200
TOTAL	0.000	0.000	0.000	0.000	0.000	0.000

FLOOR	AREA	PERIMETER	TOTAL
LEVEL 1	0	0	0
LEVEL 2	10	2	12
LEVEL 3	10	2	12
LEVEL 4	10	2	12
LEVEL 5	10	2	12
TOTAL	40	8	48

07 PHASE 1 Perspective 1



07 PHASE 1 Perspective 2



07 PHASE 1 Perspective 3



07 PHASE 1 Perspective 3



EXISTING TOPOGRAPHY SHOWN
OVERLAYED ON NEW LANDSCAPE PLAN

PCA

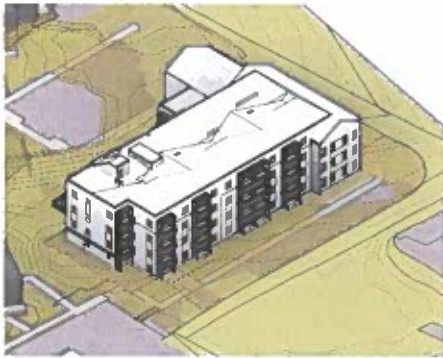
PROJECT NO. 1000000000
DATE: 10/15/2010
SCALE: 1/8" = 1'-0"
DRAWN BY: J. J. JAMES
CHECKED BY: J. J. JAMES
DATE: 10/15/2010

COLONY RETIREMENT HOMES - PHASE 1



4 3D AXON PH1 - NORTHWEST
SCALE

2 3D AXON PH1 - SOUTHEAST
SCALE



3 3D AXON PH1 - SOUTHWEST
SCALE

1 3D AXON PH1 - NORTHEAST
SCALE

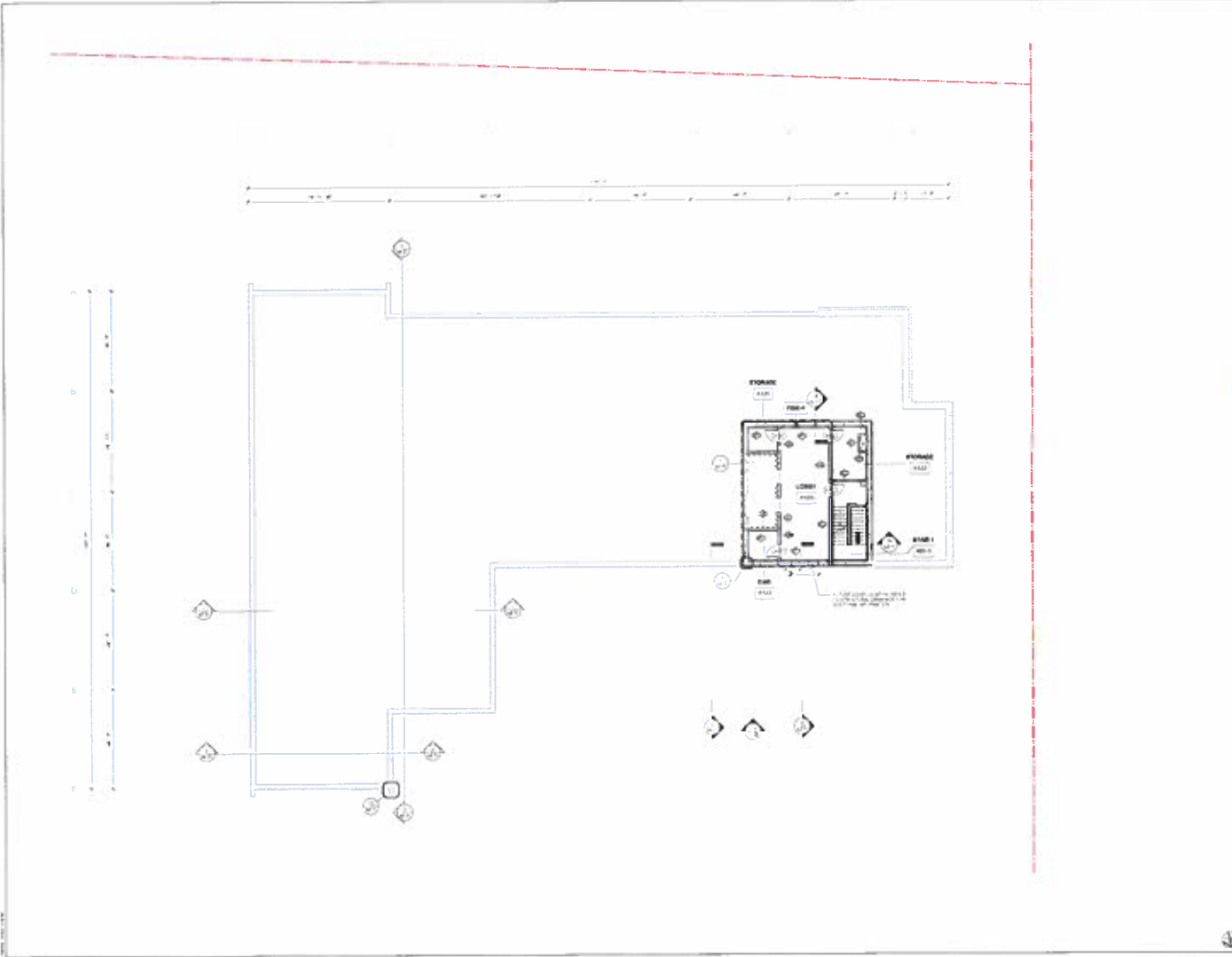
3D VIEWS

G0.02

COLONY RETIREMENT HOMES - PHASE 1
ARCHITECT: JAMES W. JAMES ARCHITECTS

NO.	DESCRIPTION	DATE

LEVEL 1
FLOOR PLAN -
P1



FLOOR NOTE
 1. SEE ALL DIMENSIONS IN ALL PARTS OF THE DRAWING.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

PCA

PROJECT NO. 100-100-100-100
 SHEET NO. 100-100-100-100
 DATE: 10/10/10

SCALE: 1/8" = 1'-0"

DATE: 10/10/10

PROJECT: COLONY RETIREMENT HOMES - PHASE 1

DATE: 10/10/10

PROJECT: COLONY RETIREMENT HOMES - PHASE 1

DATE: 10/10/10

PROJECT: COLONY RETIREMENT HOMES - PHASE 1

DATE: 10/10/10

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PROJECT: COLONY RETIREMENT HOMES - PHASE 1

DATE: 10/10/10

PROJECT: COLONY RETIREMENT HOMES - PHASE 1

DATE: 10/10/10



LEVEL 2 FLOOR PLAN - P1

A1 12B

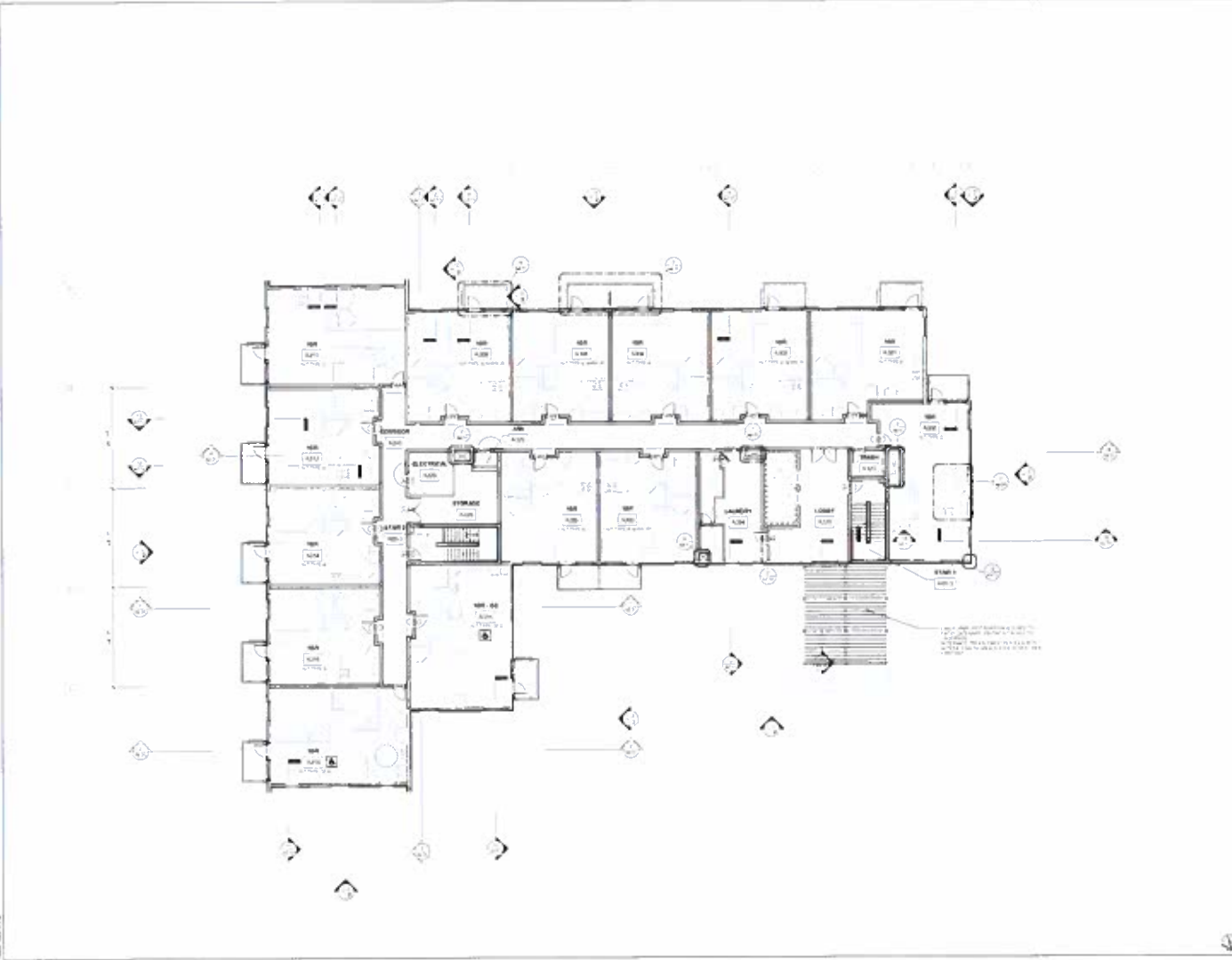
PROJECT NO. 100-100000000
DATE: 10/15/10
DRAWN BY: J. B. BROWN
CHECKED BY: J. B. BROWN
SCALE: AS SHOWN
SHEET NO. 100-100000000-01

100-100000000-01

COLONY RETIREMENT HOMES - PHASE 1
ARCHITECT: J. B. BROWN ARCHITECTS, INC.

LEVEL 3
FLOOR PLAN -
P1

A1 13A

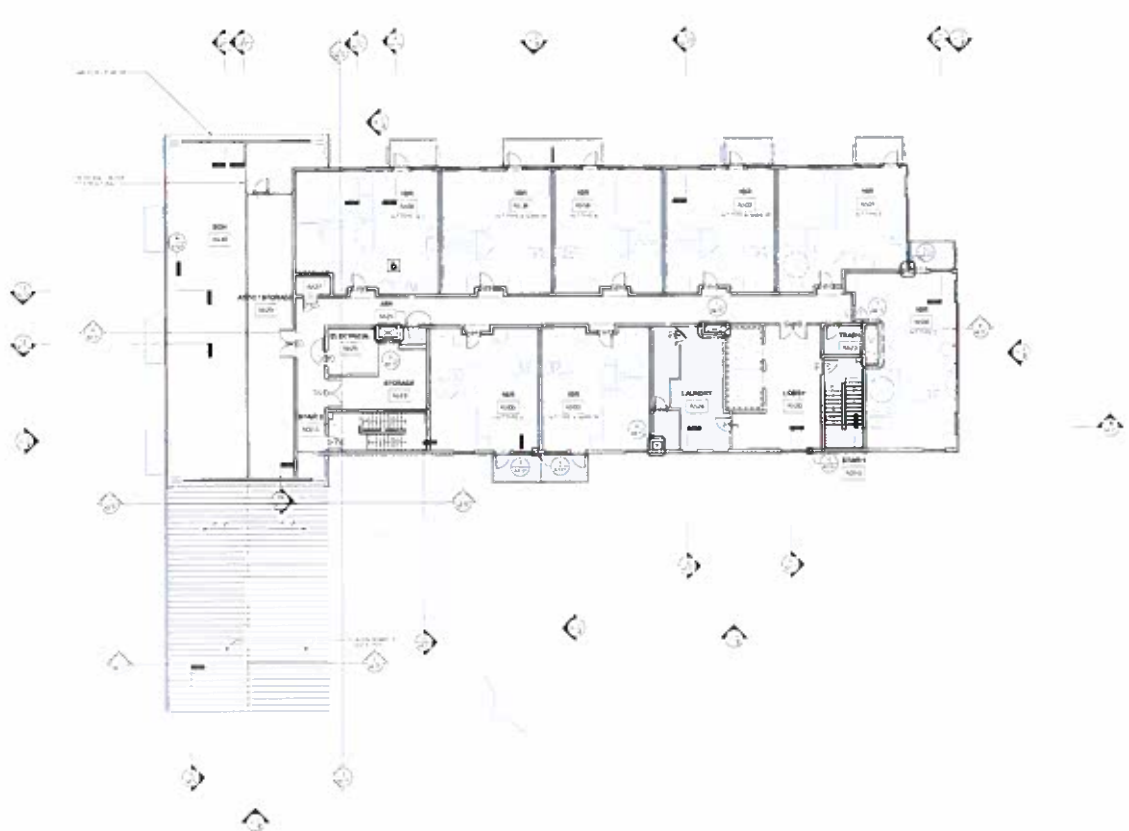




COLONY RETIREMENT HOMES - PHASE 1

LEVEL 5
FLOOR PLAN
P1

A1.15A





6 RCP - 1 BR - TYPE A 1
SCALE: 1/4" = 1'-0"



5 RCP - 1 BR - TYPE A MIRROR
SCALE: 1/4" = 1'-0"



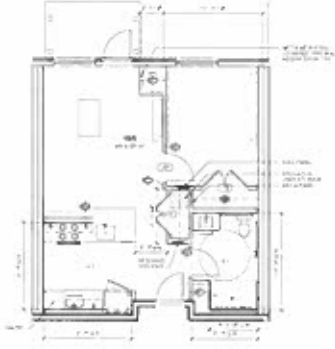
4 RCP - 1BR - TYPE A
SCALE: 1/4" = 1'-0"



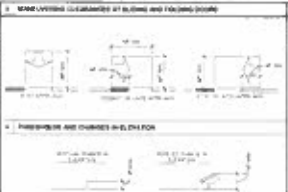
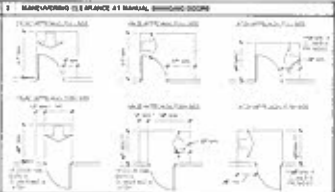
3 1 BR - TYPE A 1
SCALE: 1/4" = 1'-0"

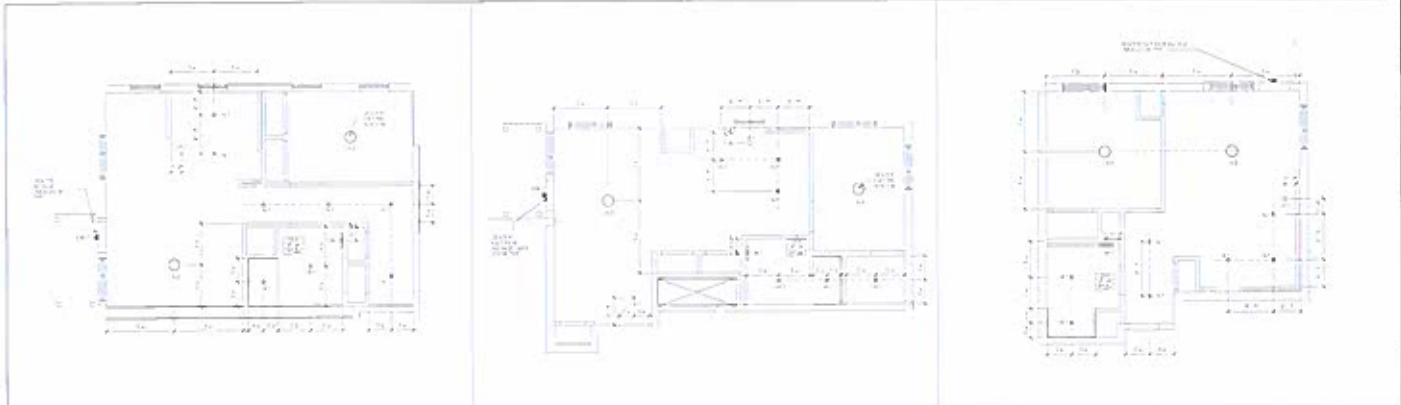


2 1 BR - TYPE A MIRROR
SCALE: 1/4" = 1'-0"



1 1 BR - TYPE A
SCALE: 1/4" = 1'-0"

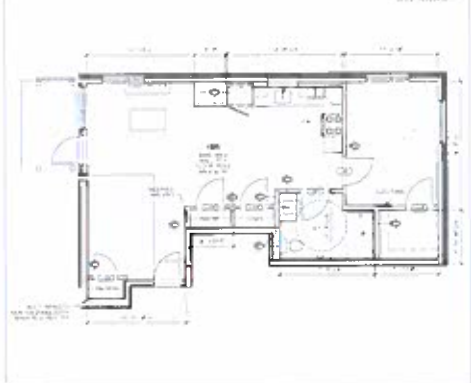




4 RCP - 1BR - TYPE D
WALL TOP TOP

1 RCP - 1BR - TYPE C
WALL TOP TOP

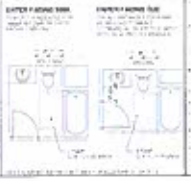
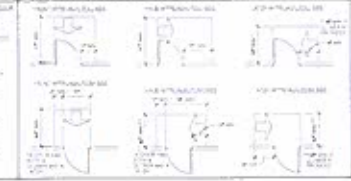
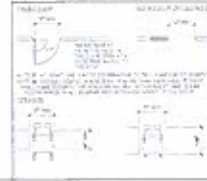
8 RCP - 1BR - TYPE B
WALL TOP TOP



3 1BR - TYPE D
WALL TOP TOP

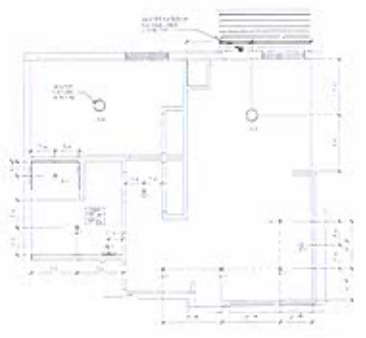
2 1BR - TYPE C
WALL TOP TOP

7 1BR - TYPE B
WALL TOP TOP



SPECIAL UNIT PLAN NOTES

1. ALL UNITS SHALL BE CONFORMANT WITH THE 2018 INTERNATIONAL BUILDING CODE (IBC) AND THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC).
 2. ALL UNITS SHALL BE CONFORMANT WITH THE 2018 INTERNATIONAL SPOKEN LANGUAGE ACCESSIBILITY STANDARDS (ISLAS).
 3. ALL UNITS SHALL BE CONFORMANT WITH THE 2018 INTERNATIONAL SPOKEN LANGUAGE ACCESSIBILITY STANDARDS (ISLAS).
 4. ALL UNITS SHALL BE CONFORMANT WITH THE 2018 INTERNATIONAL SPOKEN LANGUAGE ACCESSIBILITY STANDARDS (ISLAS).
 5. ALL UNITS SHALL BE CONFORMANT WITH THE 2018 INTERNATIONAL SPOKEN LANGUAGE ACCESSIBILITY STANDARDS (ISLAS).

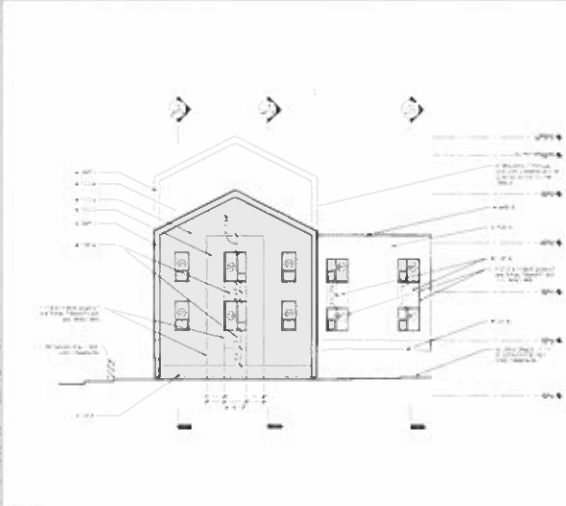


2 RCP - 1 BR - G2 - TYPED

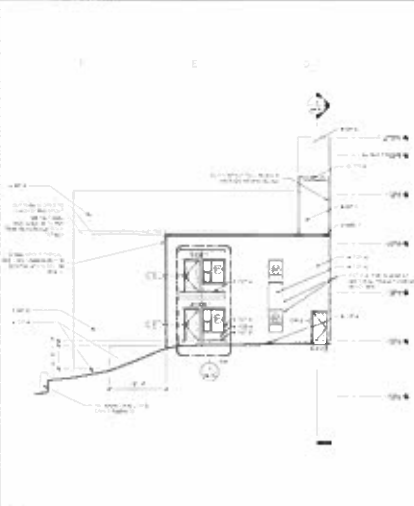


1 1 BR - G2 - TYPE D - CBH

<p>1 MINIMUM CLEARANCE AT DOORS</p> <p>MINIMUM CLEARANCE AT DOORS</p>	<p>2 MINIMUM CLEARANCE AT HANDICAPPED DOORS</p> <p>MINIMUM CLEARANCE AT HANDICAPPED DOORS</p>	<p>3 MINIMUM CLEARANCE AT SLIDING AND FOLDING DOORS</p> <p>MINIMUM CLEARANCE AT SLIDING AND FOLDING DOORS</p>	<p>4 BATHROOM CLEARANCE AT TUB END</p> <p>BATHROOM CLEARANCE AT TUB END</p>	<p>GENERAL UNIT PLAN NOTES</p> <p>1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.</p> <p>2. ALL WALLS ARE 1/2\"</p>
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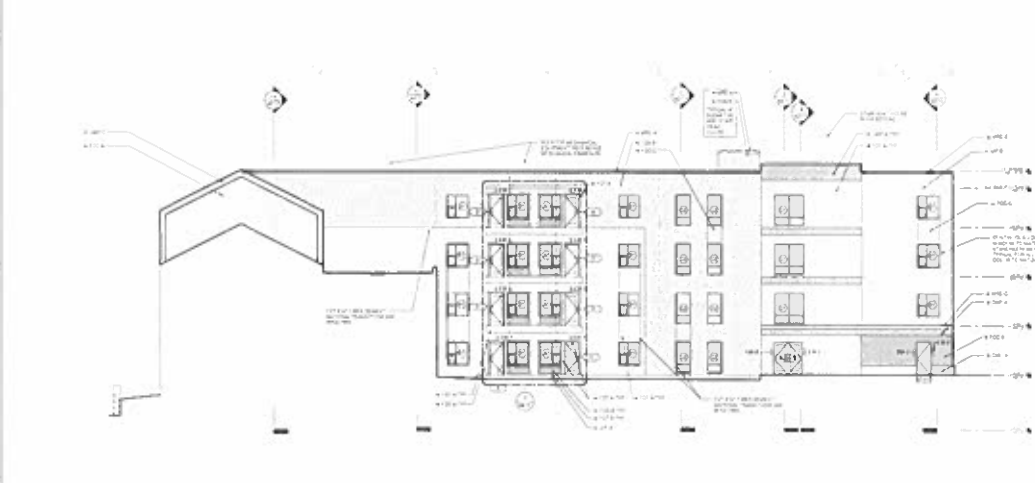
3 NORTH ELEVATION 1
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION 1
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

NO.	DESCRIPTION	FINISH	NOTES
1	CEILING	PLASTER	
2	WALLS	PLASTER	
3	WALLS	PLASTER	
4	WALLS	PLASTER	
5	WALLS	PLASTER	
6	WALLS	PLASTER	
7	WALLS	PLASTER	
8	WALLS	PLASTER	
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37	WALLS	PLASTER	
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42	WALLS	PLASTER	
43	WALLS	PLASTER	
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91	WALLS	PLASTER	
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95	WALLS	PLASTER	
96	WALLS	PLASTER	
97	WALLS	PLASTER	
98	WALLS	PLASTER	
99	WALLS	PLASTER	
100	WALLS	PLASTER	



1 NORTH ELEVATION 2
SCALE: 1/8" = 1'-0"

PCA

ARCHITECT

PROJECT #

DATE

SCALE

PROJECT #

DATE

SCALE

PROJECT #

DATE

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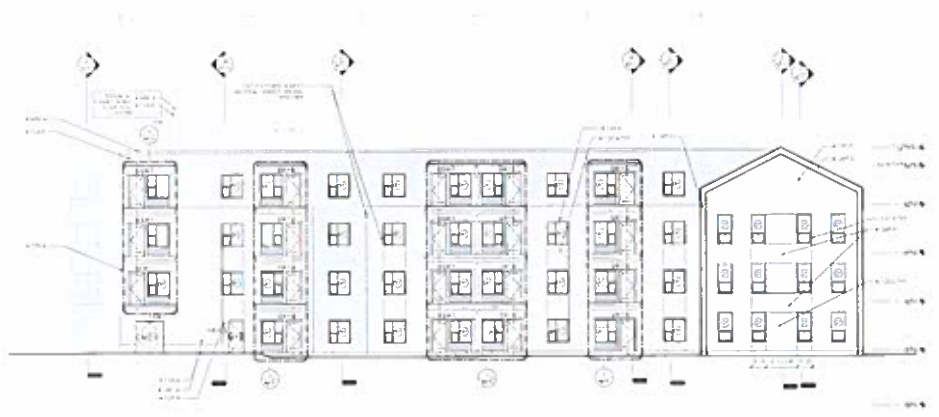
PROJECT #

DATE

COLONY RETIREMENT HOMES - PHASE 1

BUILDING ELEVATIONS

A2 10



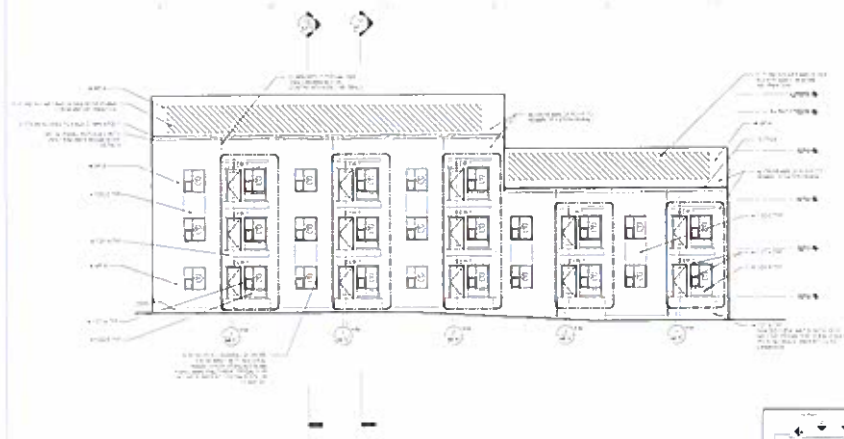
2 SOUTH ELEVATION 1



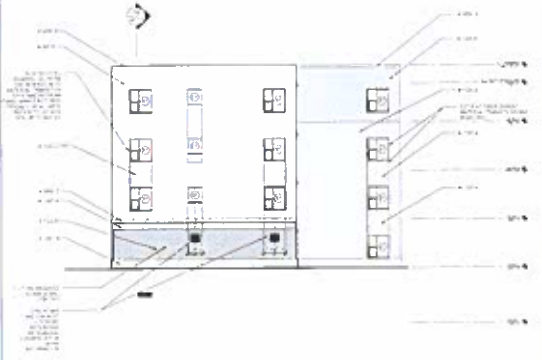
5 SOUTH ELEVATION 2



4 WEST ELEVATION 3



1 EAST ELEVATION



3 WEST ELEVATION 2





Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 66

Parcel Address: 485 GROVE ST
Assessor's Map-Block-Lot(s): 20-030-00001

Owner: COLONY RETIREMENT HOME INC

Owner Mailing: 00101 CHADWICK ST
WORCESTER, MA 01605

Petitioner (if other than owner): MARK BORENSTEIN - B&D
Petitioner Mailing Address: 311 MAIN STREET
WORCESTER, MA

Petitioner Phone: 508-926-3459

Planning: X Zoning: _____ License Commission: _____ Conservation Commission: _____

Historical: _____ Cannabis: _____ Other: _____

20-030-00013 MCCAULEY STEPHEN 0009 ROSEMONT RD WORCESTER MA 01605

20-031-00004	MACARUSO MICHAEL A JR	0002 CLARENCE ST	WORCESTER MA 01605
20-021-00036	GARDELLA MATTHEW D	0009 INDIAN LAKE PRKWY	WORCESTER MA 01605
20-027-0000B	LEASCA DESPINA J TRUSTEE	0516 GROVE ST	WORCESTER MA 01605
20-021-00004	SCANNELL TIMOTHY J	0008 INDIAN LAKE PRKWY	WORCESTER MA 01605
20-021-00037	RUSSO JULIE A	0007 INDIAN LAKE PKWY	WORCESTER MA 01605
20-025-00001	DEARY ERICA L	0007 JUDSON RD	WORCESTER MA 01605
20-025-0002B	BRITTAN SQUARE REALTY INC	0001 WEST BOYLSTON ST SUITE LLO5	WORCESTER MA 01605
20-027-0000C	WARUZILA THOMAS J	0510 GROVE ST	WORCESTER MA 01605
20-021-38+39	LAMOUREAX HENRI J + MELANIE A	0003 INDIAN LAKE PKWY	WORCESTER MA 01605
20-027-0000A	LEASCA DESPINA J TRUSTEE	0516 GROVE ST	WORCESTER MA 01605
20-025-0000C	BARTLEY ELIZABETH A	0005 JUDSON RD	WORCESTER MA 01605
20-021-0004A	PEREZ JOSE + CHERYL M	0006 INDIAN LAKE PKWY	WORCESTER MA 01605
20-026-00012	BRITTAN SQUARE REALTY LLC	0001 WEST BOYLSTON ST SUITE LLO5	WORCESTER MA 01605
20-025-0000E	FREEMAN RICHARD J + KATHLEEN M	0006 JUDSON RD	WORCESTER MA 01605
20-025-00031	CHAMBERS WILLIAM L	0014 JOHN ELIOT SQUARE #3D	BOSTON MA 02119
20-030-00001	COLONY RETIREMENT HOMES INC	00101 CHADWICK ST	WORCESTER MA 01605
20-021-00001	GAVAL MOSHE M TRUSTEE	PO BOX 35454	CHARLOTTE NC 28235
20-021-00040	VASILIADIS POLIHRONIS +	0001 INDIAN LAKE PRKWY	WORCESTER MA 01605
20-025-0000A	FREEMAN KATHLEEN M + RICHARD H	0006 JUDSON RD	WORCESTER MA 01605
20-025-0000D	PAPPAS JAMES C	PO BOX 426	BOYLSTON MA 01505
20-025-000A2	KELLEY STEPHEN L	0488 GROVE ST	WORCESTER MA 01605
20-025-000D2	MADAIO RICHARD P	0480 GROVE ST	WORCESTER MA 01605
20-025-D3+D4	HIGLEY HILL INVESTMENTS LLC	0002 DENISON RD	WORCESTER MA 01609
20-026-03-07	CP 1 WEST BOYLSTON STREET LLC	0001 WEST BOYLSTON ST	WORCESTER MA 01605
20-031-00003	6C LLC	0006 BERKMANS ST APT 1	WORCESTER MA 01602
20-030-00009	SPYROS DENA G	0459 GROVE ST	WORCESTER MA 01605
20-030-00007	SPYROS DENA	0459 GROVE ST	WORCESTER MA 01605
20-030-46+47	LAVERTY WILLIAM P JR	455 GROVE ST	WORCESTER MA 01605
20-031-00010	BARBERA RAYMOND E JR +	0451 GROVE ST	WORCESTER MA 01605
20-030-00014	TSAPRALIS PETER + EVGENI A	0001 ROSEMONT RD	WORCESTER MA 01605
20-031-00030	BARBERA RAYMOND E JR +	0451 GROVE ST	WORCESTER MA 01605
20-030-00026	LILE RONELA + ARLIND	0436 10TH AVE NE APT 2	ST PETERSBURG FL 33701
20-030-00015	PAIGE MAUREEN E + PAUL	0003 ROSEMONT RD	WORCESTER MA 01605
20-030-00027	HUROWITZ RACHEL	0004 ROSEMONT RD	WORCESTER MA 01605
20-030-00016	WHITE PETER J + SANDRA	0005 ROSEMONT RD	WORCESTER MA 01605
20-031-00012	WOLFENDALE WILLIAM D	0041 LEXINGTON CIR	HOLDEN MA 01520
20-031-00028	ECHVERRIA JOSE + BRITTANY	0129 RIVULET ST	UXBRIDGE MA 01569
20-030-00011	SRIBERG DAVID + SUZANNE	0005 NICHOLAS RD	HOPKINTON MA 01748
20-030-72+73	SEVEN HILLS COMMUNITY SERVICES INC	81 HOPE AVE	WORCESTER MA 01603
20-031-00002	LAVERGNE JOHN ERIC	0010 CLARENCE ST	WORCESTER MA 01605
20-030-00019	LE PHUC DINH +	0013 ROSEMONT RD	WORCESTER MA 01605
20-030-00010	SRIBERG DAVID + SUZANNE	0005 NICHOLAS RD	HOPKINTON MA 01748
20-031-00001	PHAN TRANG HO T +	0012 CLARENCE ST	WORCESTER MA 01605

The City of Worcester
Administration & Finance

20-030-00020	VOCINO JENNIFER	0015 ROSEMONT RD	WORCESTER MA 01605
20-030-00079	LE HOI T +	0005 ROSEVILLE LN	WORCESTER MA 01603
20-030-00006	PULLMAN DANA A + MELISSA	0016 ROSEMONT RD	WORCESTER MA 01605
20-030-24+25	HASSETT ROBERT P JR(TRUSTEE)+	0032 CHADWICK ST	WORCESTER MA 01605
20-032-00011	RIORDAN JOHN P + KIMBERLY SUE	0014 CLARENCE ST	WORCESTER MA 01605
20-030-00021	MCCORMICK TIMOTHY + FOSTER	0007 ROSEMONT RD	WORCESTER MA 01605
20-030-80+81	BOROWY KENNETH P +	40 CHADWICK STREET	WORCESTER MA 01605
20-030-00022	DONOHUE THOMAS A(LIFE ESTATE)	0019 ROSEMONT RD	WORCESTER MA 01605
20-030-00012	HAN LI +	0018 ROSEMONT RD	WORCESTER MA 01605
20-030-00095	COLONY RETIREMENT HOMES III IN	00101 CHADWICK ST	WORCESTER MA 01605
20-030-91+92	HALLORAN KEVIN	0035 CHADWICK ST	WORCESTER MA 01605
20-030-0090A	WHITE THOMAS P	0031 CHADWICK ST	WORCESTER MA 01605
20-034-00001	COLONY RETIREMENT HOME INC	0101 CHADWICK ST	WORCESTER MA 01605
20-030-28+29	HABIB JAHAN Z	0008A ROSEMONT RD #3	WORCESTER MA 01605
20-030-00017	METOHU TAJAR + AISHE	0007 ROSEMONT RD	WORCESTER MA 01605
20-030-00018	MILLIGAN MICHAEL +	0011 ROSEMONT RD	WORCESTER MA 01605
20-030-469-1	CARR JOSHUA	0469 GROVE ST UNIT 1	WORCESTER MA 01605
20-030-469-2	VARTANIAN JAMES	0469 GROVE ST UNIT 2	WORCESTER MA 01605
20-030-469-3	STEPANSKI MATTHEW HANLON	0469 GROVE ST UNIT 3	WORCESTER MA 01605
20-030-00077	JOLLY DAVID A SR + HELEN	0024 ASPINWALL RD	WORCESTER MA 01605
MA-DEP-INDIA	INDIAN LAKE WATERSHED ASSOCIATION	PO Box 60244	WORCESTER MA 01606
20-033-00001	CITY OF WORCESTER SCHOOL DEPT	20 IRVING ST	WORCESTER MA 01609

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot's 20-030-00001 as cited above.

Certified by:



Signature

03/06/2024

Date



The City of
WORCESTER

Assessing Division
Samuel E. Konieczny, MAA, City Assessor
City Hall, 455 Main Street, Worcester, MA 01608
P | 508-799-1098 F | 508-799-1021
assessing@worcesterma.gov

Abutters Map

